



REGULAR MEETING AGENDA

City of Black Hawk City Council
211 Church Street, Black Hawk, CO

May 13, 2020
3:00 p.m.

The City of Black Hawk is hosting Virtual City Council meetings in Zoom in response to the Coronavirus COVID-19 until further notice. There are no physical meetings at this time.

Join from a PC, Mac, iPad, iPhone, or Android device:
Please click this URL to join: <https://us02web.zoom.us/j/82547925856>

Or join by phone:

888-475-4499 (Toll-Free)

Webinar ID: 825 4792 5856

International numbers available: <https://zoom.us/u/aekAkAaLfF>

Phone commands using your phone's dial pad while in a Zoom meeting:

*6 – Toggle mute/unmute

*9 – Raise your hand to make a public comment or to
speak for or against a Public Hearing matter

Public Comment:

If you wish to make a public comment during the meeting,
please go to:

https://www.cityofblackhawk.org/comment_signup

and provide your Name, Email address, and Telephone.

During the Public comment section of the meeting, the host will
go in order of sign up to ask for comments from those who have signed up

1. CALL TO ORDER:
2. ROLL CALL & PLEDGE OF ALLEGIANCE:
3. AGENDA CHANGES:
4. CONFLICTS OF INTEREST: (Council disclosures are on file w/City Clerk & Sec. of State)
5. PUBLIC COMMENT: *Please limit comments to 5 minutes*
6. APPROVAL OF MINUTES: April 22, 2020
7. PUBLIC HEARINGS:
 - A. CB12, A Bill for an Ordinance Rezoning Lot 1, Block 1 of Miners Mesa Subdivision Filing No. 4 from Hillside Development (HD) to Commercial/Business Services (CBS) Zoning District, and Amending the City's Zoning Map to Conform Therewith
 - B. Resolution 26-2020, A Resolution Approving the Minor Subdivision for the Property Located on Gregory Street and More Particularly Described as Portions of Lots 2, 3 and 4 and All of Lots 5 Through 8, Block 28, City of Black Hawk, Colorado to be Known as City of Black Hawk, Block 28, Amendment No. 1 **(Continued from March 25, 2020)**

MISSION STATEMENT

The mission of the City of Black Hawk is to progressively provide cost
effective programs and services of the highest quality to the community

- C. Resolution 27-2020, A Resolution Approving a Certificate of Architectural Compatibility for the Building Located at 221 Gregory Street (Continued from March 25, 2020)

8. ACTION ITEMS:

- A. Resolution 37-2020, A Resolution Consenting to and Extending the Order Declaring a Local Disaster Emergency In and For the City of Black Hawk, Colorado
- B. Resolution 38-2020, A Resolution Approving the Release of the City's Interest in the Helipad License Agreement Located on Lot 1, Block 1 of Miners Mesa Subdivision Filing No. 4
- C. Resolution 39-2020, A Resolution Approving the License Agreement Between the City of Black Hawk, Colorado and Isle of Capri Black Hawk, LLC
- D. Resolution 40-2020, A Resolution Approving a Telephonic Participation Policy for Historic Preservation Commission Meetings
- E. Resolution 41-2020, A Resolution Approving the Proposal from CIGNA for 2020-2023 Ancillary Coverage
- F. Resolution 42-2020, A Resolution Approving the Contract with Delta Dental in the Estimated Amount of \$122,522 for Group Dental Insurance
- G. Resolution 43-2020, A Resolution Approving the Contract with Kaiser Permanente in the Estimated Amount of \$1,116,622 for Group Health Insurance
- H. Resolution 44-2020, A Resolution Revising a Job Description for Police Chief

9. CITY MANAGER REPORTS:

10. CITY ATTORNEY:

11. EXECUTIVE SESSION:

12. ADJOURNMENT:

MISSION STATEMENT

The mission of the City of Black Hawk is to progressively provide cost effective programs and services of the highest quality to the community



**City of Black Hawk
City Council**

April 22, 2020

MEETING MINUTES

1. CALL TO ORDER: The regular meeting of the City Council was called to order on Wednesday, April 22, 2020, at 3:00 p.m. by Mayor Spellman.

2. ROLL CALL: Physically Present: Mayor Spellman

Virtually Present: Aldermen Armbright, Bennett, Johnson, Midcap, Moates, and Torres.

Virtual/Present Staff: City Attorney Hoffmann, City Manager Cole, Finance Director Hillis, City Clerk/Administrative Services Director Greiner, Public Works Director Isbester, Senior Civil Engineer Ford, Community Planning & Development Director Linker, IT Manager Muhammad, and Deputy City Clerk Martin.

PLEDGE OF ALLEGIANCE: Mayor Spellman led the meeting in the recitation of the Pledge of Allegiance.

3. AGENDA CHANGES: Deputy City Clerk Martin confirmed there were no changes to the agenda.

Mayor Spellman announced that he had some comments to share at the end of the Action Items in regards to the Central City lawsuit against the City of Black Hawk and their Press Release.

4. CONFLICTS OF INTEREST: City Attorney Hoffmann asked Council to declare any Conflicts of Interest on any issue appearing on the agenda this afternoon other than those previous disclosures and conflicts that have already been disclosed and are on file with the City Clerk and Secretary of State. No conflicts were noted from City Council.

City Attorney Hoffmann asked the virtual and present audience if there were any objections to any member of Council voting on any issue on the agenda this afternoon. Both audiences had no objections.

5. PUBLIC COMMENT: Deputy City Clerk Martin confirmed no one had signed up to speak.

6. APPROVAL OF
MINUTES: April 8, 2020

**MOTION TO
APPROVE**

Alderman Torres **MOVED** and was **SECONDED** by Alderman Moates to approve the Minutes as presented.

MOTION PASSED

There was no discussion and the motion **PASSED** by a roll call vote of 6-0.

7. PUBLIC HEARINGS:

A. CB10, An Ordinance Approving the Church Ditch/Farmers High Line Augmentation Station Lease Agreement Between the City of Black Hawk and the City of Arvada

Mayor Spellman read the title and opened the public hearing.

Senior Civil Engineer Ford was having some trouble entering the Zoom meeting. Mayor Spellman reminded Council that the information was in the packet and asked if they wanted to wait for staff or move forward. They agreed to move forward.

PUBLIC HEARING:

Mayor Spellman declared a Public Hearing on CB10, an Ordinance approving the Church Ditch/Farmers High Line Augmentation Station Lease Agreement between the City of Black Hawk and the City of Arvada open and invited anyone wanting to address the Board either “for” or “against” the proposed resolution to come forward.

No one came forward to speak, and Mayor Spellman declared the Public Hearing closed.

**MOTION TO
APPROVE**

Alderman Midcap **MOVED** and was **SECONDED** by Alderman Johnson to approve CB10, an Ordinance approving the Church Ditch/Farmers High Line Augmentation Station Lease Agreement between the City of Black Hawk and the City of Arvada.

MOTION PASSED

There was no discussion and the motion **PASSED** by a roll call vote of 6-0.

B. CB11, An Ordinance Approving the Water Storage Agreement Between the City of Black Hawk and the City of Golden

Mayor Spellman read the title and opened the public hearing.

Senior Civil Engineer Ford explained this item. He said it is the same agreement we have had with the City of Golden since 2015. He added that the cost of the storage is 50% of the water we put in; there is no monetary cost to the City. Details were listed in the packet.

PUBLIC HEARING:

Mayor Spellman declared a Public Hearing on CB11, an Ordinance approving the Water Storage Agreement between the City of Black Hawk and the City of Golden open and invited anyone wanting to address the Board either “for” or “against” the proposed resolution to come forward.

No one came forward to speak, and Mayor Spellman declared the Public Hearing closed.

MOTION TO APPROVE

Alderman Bennett **MOVED** and was **SECONDED** by Alderman Armbright to approve CB11, an Ordinance approving the Water Storage Agreement between the City of Black Hawk and the City of Golden.

MOTION PASSED

There was no discussion and the motion **PASSED** by a roll call vote of 6-0.

8. ACTION ITEMS:

- A. Resolution 36-2020, A Resolution Approving the Agreement for the Fabrication of the Green Lake Intake Structure with Elgin Separations Solutions in a Total Amount Not to Exceed \$41,100.00**

Mayor Spellman read the title.

Senior Civil Engineer Ford introduced this item and said this was the last portion of the Green Lake inflow pipeline that was replaced over six phases. The intake structure requires fabrication, which has a long lead time. He said the expense is shared with Clear Creek County and that this is only for the fabrication, not the installation. He said the installation will be bid separately, and he will come back to Council at that time for approval.

MOTION TO APPROVE

Alderman Moates **MOVED** and was **SECONDED** by Alderman Midcap to approve Resolution 36-2020, a Resolution approving the agreement for the fabrication of the Green Lake Intake Structure with Elgin Separations Solutions in a total amount not to exceed \$41,100.00

MOTION PASSED

There was no discussion and the motion **PASSED** by a roll call vote of 6-0.

Mayor Spellman went on to say the following: "I read with amusement in the April 9th Weekly Register-Call, Central City Mayor Fey's comments about the Lake Gulch Whiskey Resort at the April 7th Central City Council meeting. The Mayor's declaration that "there is not a member of Central City Council or Staff that is opposed to the Tincup Whiskey development" is a disingenuous utterance at best. His Honor's declaration would foreshadow the disinformation campaign Central City was about to embark on the following day.

On April 8th, Central City sent out a Press Release, which was nonsensical, disingenuous, and above all chocked-full of deception and disinformation. All rubbish in a feeble effort to bolster their senseless lawsuit against Black Hawk and Proximo Spirits, LLC.

I will not address the 1999 Growth IGA as that is now a matter for the courts to decide. Sufficing to say, the Gilpin County Commissioners have consented to the annexation of the Lake Gulch Whiskey Resort, and that is all that is required under the 1999 Growth IGA. The City of Central's consent is not required under the document.

As for the Southern Access, or the Central City Parkway, or the Casino Parkway -- it is hard to keep up with whatever Central is calling the finical albatross they have saddled their City with for many years to come. It is unequivocally clear Central is attempting to force Black Hawk and Proximo to pay for a road we neither need nor want the use of. Central City is suffering from "Delusions of Parkway Grandeur." or "Parkway Derangement."

Black Hawk recently filed an open records request with Central asking what involvement the bondholders for the Parkway had in the lawsuit. The document we received from Central had more text redacted - blacked out - than there is readable text. It is evident that the greedy bondholders have joined with Central and want in on the extortion racket as well. Black Hawk shall expose the blatant deception and double standard Central is applying to what they term "Benefited Properties" as it relates to actual impacts versus contrived impacts to their Parkway.

It is transparent that the City of Central is suing Black Hawk and Proximo to extort financial gain, which they are not entitled to nor deserving of.

I would say the lawsuit is a cheap trick to extort money, but it is not cheap for the residents and businesses of Central. Central may be paying their attorneys a combined hourly rate of \$1,000 or more. Black Hawk filed an open records request for the fee schedule of their outside legal counsel. It should come as no surprise, what Central responded with is a document in which more text is redacted - blacked out - than there is readable text. What are you concealing Central City? Perhaps this why you refuse to waive your casino's device fees during this unprecedented economic calamity they are struggling through at this time.

The City of Black Hawk prefers not to negotiate with extortionists. Perhaps it is high time for the City of Central to come clean and let their residents and all of Gilpin County know that the Lake Gulch Whiskey Resort was your development before it was Black Hawks. Central could not negotiate and close the deal with Proximo. The Lake Gulch Whiskey Resort was Central's to lose and lose it they

did. Is it possible greed got in the way of Central being the home of Tincup whiskey. Do not use your revisionist history Central as you will only get caught in yet another lie.”

9. CITY MANAGER

REPORTS:

City Manager Cole had nothing to report.

10. CITY ATTORNEY:

City Attorney Hoffmann had nothing to report.

11. EXECUTIVE

SESSION:

City Attorney Hoffmann recommended item number 2 only for Executive Session, and the specific legal issues related to the pending litigation on legal issues related to land use and legal issues related to personnel matters.

**MOTION TO
ADJOURN INTO
EXECUTIVE
SESSION**

Alderman Bennett **MOVED** and was **SECONDED** by Alderman Johnson to adjourn into Executive Session at 3:16 p.m. to hold a conference with the City's attorney to receive legal advice on specific legal questions, pursuant to C.R.S. § 24-6-402(4)(b).

MOTION PASSED

There was no discussion and the motion **PASSED** by a roll call vote of 6-0.

**MOTION TO
ADJOURN**

Alderman Bennett **MOVED** and was **SECONDED** by Alderman Johnson to adjourn the Executive Session at 4:20 p.m.

MOTION PASSED

There was no discussion, and the motion **PASSED** unanimously.

12. ADJOURNMENT:

Mayor Spellman declared the Regular Meeting of the City Council closed at 4:20 p.m.

Melissa A. Greiner, CMC
City Clerk

David D. Spellman
Mayor

**COUNCIL BILL 12
ORDINANCE 2020-12
A BILL FOR AN
ORDINANCE REZONING
LOT 1, BLOCK 1 OF
MINERS MESA
SUBDIVISION FILING NO.
4 FROM HILLSIDE
DEVELOPMENT (HD) TO
COMMERCIAL/BUSINESS
SERVICES (C/BS) ZONING
DISTRICT, AND
AMENDING THE CITY'S
ZONING MAP TO
CONFORM THEREWITH**

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

COUNCIL BILL NUMBER: CB-12

ORDINANCE NUMBER: 2020-12

TITLE: A BILL FOR AN ORDINANCE REZONING LOT 1, BLOCK 1 OF MINERS MESA SUBDIVISION FILING NO. 4 FROM HILLSIDE DEVELOPMENT (HD) TO COMMERCIAL/BUSINESS SERVICES (C/BS) ZONING DISTRICT, AND AMENDING THE CITY'S ZONING MAP TO CONFORM THEREWITH

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BLACK HAWK, GILPIN COUNTY:

Section 1. Findings of Fact.

a. An application was submitted for rezoning the property described in the attached **Exhibit A** (the "Property") from Hillside Development (HD) to Commercial/Business Services (C/BS) pursuant to the City of Black Hawk Zoning Ordinance.

b. Public notice has been given of such rezoning by one publication in a newspaper of general circulation within the City and the official newspaper of the City at least fifteen (15) days before the public hearing of such amendment.

c. Notice of such proposed hearing was posted on the Property for fifteen (15) consecutive days prior to said hearing.

d. A need exists for rezoning the Property pursuant to Section 16-361 of the City of Black Hawk Zoning Ordinance as follows:

i. A need does exist for the zoning, rezoning will implement the objectives of the City of Black Hawk Zoning Ordinance;

ii. The proposal for rezoning conforms with and is not inconsistent with the Comprehensive Plan;

iii. Additional growth opportunities and placemaking in the City of Black Hawk have changed and the proposal warrants new uses on the property;

iv. Adequate circulation exists in the area to support the rezoning, and infrastructure will be constructed and extended to accommodate full build-out of the proposed project; and

v. Any additional cost for municipal-related services resulting from the proposal will not be incurred by the City.

Section 2. The Property is hereby rezoned to Commercial/Business Services (C/BS).

Section 3. The Zoning Ordinance and Zoning Map are hereby amended to conform with the zoning changes.

Section 4. Safety Clause. The City Council hereby finds, determines, and declares that this Ordinance is promulgated under the general police power of the City of Black Hawk, that it is promulgated for the health, safety, and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The City Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be attained.

Section 5. Severability. If any clause, sentence, paragraph, or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 6. Effective Date. The City Clerk is directed to post the Ordinance as required by the Charter. This Ordinance shall become effective upon posting by the City Clerk

READ, PASSED AND ORDERED POSTED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Black Hawk Board of Aldermen shall hold a public hearing concerning a request a rezone from Hillside Development – Mixed Use (HD) to Commercial/Business Services (CBS) of property described in Exhibit A and generally located in the 900 block of Miners Mesa Road, Black Hawk, Colorado, pursuant to the City of Black Hawk zoning ordinance.

The public hearing is to be held before the City of Black Hawk Board of Aldermen on Wednesday, May 13, 2020, at 3:00 p.m. or as soon as possible thereafter. The City of Black Hawk is hosting virtual City Council meetings in Zoom in response to the Coronavirus COVID-19 until further notice. There are no physical meetings at this time. This meeting will accommodate public engagement via a Zoom URL and/or phone number to join. Please go to the City of Black Hawk's website for further instructions prior to the meeting.

ALL INTERESTED PARTIES MAY ATTEND

Melissa A. Greiner, CMC
City Clerk

EXHIBIT A

LOT 1, BLOCK 1, MINERS MESA SUBDIVISION FILING NO. 4

CITY OF BLACK HAWK
REQUEST FOR COUNCIL ACTION

SUBJECT: Rezoning of property on Miners Mesa from Hillside Development (HD) to Commercial/Business Services (CBS).

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE CB12 – Ordinance 2020-12, an Ordinance approving the rezoning of Lot 1 Block 1 Miners Mesa Subdivision Filing No 4 from Hillside Development (HD) to Commercial/Business Services (CBS).

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Ventana Capital, on behalf of Club Vista Properties II, LLC, has submitted an application to rezone property located on Miners Mesa (Lot 1 Block 1 Miners Mesa Subdivision Filing No 4) from Hillside Development (HD) to Commercial/Business Services (CBS) in order to develop the property with commercial and recreation uses. Refer to the Staff Report included with this Request for Council Action.

AGENDA DATE: May 13, 2020

WORKSHOP DATE: N/A

FUNDING SOURCE: N/A

DEPARTMENT DIRECTOR APPROVAL: ☒ Yes ☐ No

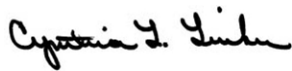
STAFF PERSON RESPONSIBLE: Cynthia L. Linker
CP&D Director

DOCUMENTS ATTACHED: CB12 - Ordinance 2020-12
Public Hearing Notice
Staff Report
Combined Application

RECORD: ☒ Yes ☐ No

CITY ATTORNEY REVIEW: ☒ Yes ☐ N/A

SUBMITTED BY:

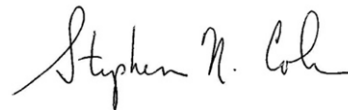


Cynthia L. Linker, CP&D Director



Vincent Harris, AICP, Baseline Corporation

REVIEWED BY:



Stephen N. Cole, City Manager



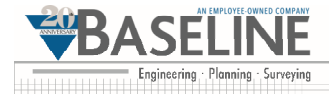
Staff Report

**CITY OF BLACK HAWK
PLANNING / LAND USE**

Date prepared: April 27, 2020
Meeting Date: May 13, 2020

STAFF REPORT: Rezone: Lot 1 Block 1 Miners Mesa Subdivision Filing No. 4

For: City Council
Project: P-19-21 Ventana Rezone
Property Address: Miners Mesa Road, Black Hawk, CO 80422
Applicants: Dalton Horan, Ventana Capital
Property Owner: Club Vista Properties II, LLC
Zoning: Hillside Development (HD)
Prepared by: Julie Esterl - Baseline Corporation
Approved by: Vincent Harris, AICP - Baseline Corporation
Reviewed by: Cynthia Linker, CP&D Director



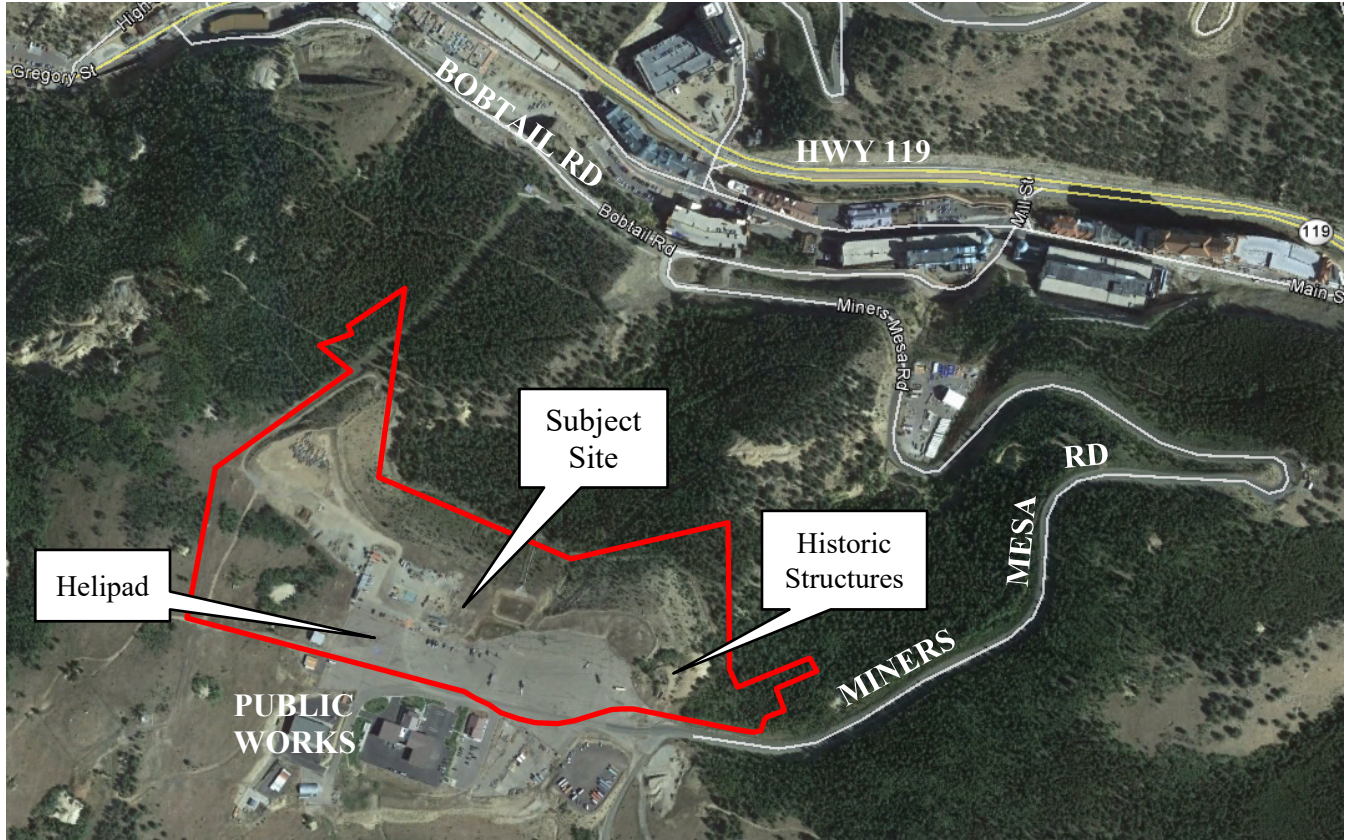
BACKGROUND:

On December 27, 2019 the City of Black Hawk received an application request for a Rezoning of property from Dalton Horan of Ventana Capital on behalf of Club Vista Properties II, LLC. The request involves the rezoning of Lot 1, Block 1 of Miners Mesa Subdivision Filing No 4, a 47.7-acre lot located on Miners Mesa Road just north of the City's Public Works office building. The request is to rezone the property from the Hillside Development (HD) zone district to the Commercial/Business Services (CBS) zone district. The concept plan for development (original plan provided in July 2019) includes RV camping, event center, mini-warehouse storage, and an indoor shooting range, none of which are permitted uses in the Hillside Development district. The applicant's concept plan has been evolving since July 2019 but the rezone request to the CBS district remains unchanged. Regardless, formal development plans submitted in the future will need to comply with the CBS district regulations and processes.

The property is mostly vacant but includes some areas of paved asphalt for parking. Formerly used by tour buses for the casinos, this parking is no longer used or needed. In addition, there are a few historic structures on the southeast corner of the property. These structures are protected by an existing 1 acre Historic Preservation and Conservation Easement. The Historic Easement has been recorded with the Gilpin County Clerk at Book 588, pages 72-75. The applicant and property owner are aware of this easement and will coordinate future development plans taking it into consideration.

The property also contains an existing helipad. The plat indicates a Helipad License Agreement but does not contain recording information. Staff researched records and correspondence in order to discover if a helipad license agreement was ever executed and recorded, but no such document was found. The Black Hawk Fire Chief has indicated that the Fire Department does not wish to maintain this helipad in this location or any other location on Miner's Mesa, and has asked that staff prepare a request to City Council to release any interest in the area. Since the helipad is registered with the FAA, the Fire Chief will also need to file paperwork with the FAA indicating abandonment of the helipad.

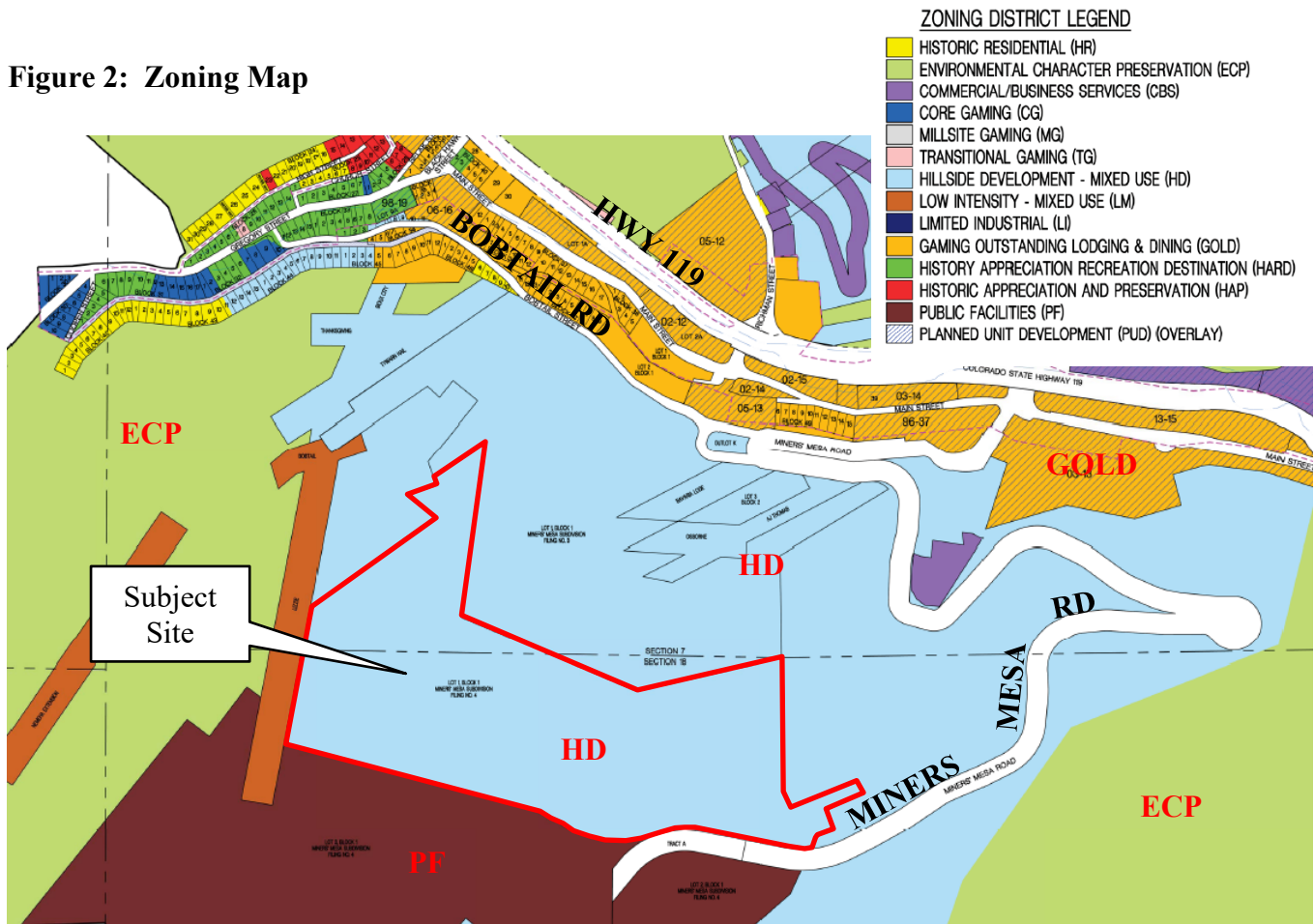
Figure 1: Location Map



ZONING:

The property is currently zoned Hillside Development (HD) which does not allow many of the uses planned for the development of the property. The proposed zoning is Commercial/Business Services (CBS) which will allow mini warehouse/storage and event center as permitted uses. Camping and indoor shooting ranges are Special Review Uses in the CBS district if pursued by the applicant. Once the property is rezoned, the applicant will need to apply for and receive approval of Special Review Use permits for both the camping and indoor shooting range if desired.

Figure 2: Zoning Map



REQUEST:

The applicant is requesting the rezone of Lot 1, Block 1 Miners Mesa Subdivision Filing No 4 from Hillside Development (HD) to Commercial/Business Services (CBS). The CBS zone district will allow for the development of the mini warehouse/storage and the event center by right and the camping and indoor shooting range with a Special Review Use permit.

Applicable City of Black Hawk Regulations

Excerpts from:

***City of Black Hawk
Zoning Code
Chapter 16 – Zoning***

Sec. 16-7. Relationship to the Comprehensive Plan and other adopted plans.

It is the intent of the Board of Aldermen that this Chapter implement the planning policies adopted by the Board of Aldermen as reflected in the Comprehensive Plan and other related plans and planning documents. While the Board of Aldermen reaffirms its commitment that this Chapter and any amendment to it be in conformity with the adopted planning policies, the Board of Aldermen hereby expresses its intent that neither this Chapter nor any amendment to it may be challenged on the basis of any alleged nonconformity with any planning document.

Staff Comment: The Black Hawk 2020 Comprehensive Plan serves as a guiding document related to future zoning decisions that the City Council may see presented to the City for consideration. The property in question is located in the Miner's Mesa District (MMD) area designated in the 2020 Comprehensive Plan. The MMD has the following goals:

- Transition from a local gaming area to a regional resort destination
- Encourage diversified commercial development that complements gaming
- Strengthen outdoor recreational opportunities

The proposed rezone promotes the list of desired uses listed in the Comprehensive Plan in the Miners Mesa District which include: Public facilities, Event venues, Warehouses, Storage units, Light industrial including distilleries/breweries, RV park/campgrounds, Short-term lodging, Adventure park and outdoor recreation, Outdoor entertainment facility area; Arena with grandstands for a rodeo, dog shows, horse shows, trade shows, and exhibitions.

Sec. 16-365. Rezoning procedures, amendments to zoning ordinance and special review use permits.

(a) The City may from time to time amend the number, shape or boundaries of any zoning district, the uses permitted within a zoning district, any regulation of or within a zoning district or any other provision of this Chapter.

(e) Procedure for special review use permits and amending the Zoning Ordinance or the Zoning Map. Amendments to this Chapter or to the Zoning Map or the procurement of a special review use permit shall be processed in the following manner:

- (1) Submittal of application. The applicant must submit to the Planning Department the materials necessary for the application to be heard by the Board of Aldermen. The Planning Department shall have ten (10) days to review the submittal for completeness.*
- (2) The Planning Department will send the application out for referrals to various agencies for comment. These agencies will have twenty-five (25) days to respond.*
- (3) A hearing is scheduled before the Board of Aldermen as provided in Section 16-369.*
- (4) Board of Aldermen hearing. The Board of Aldermen conducts a public hearing to consider the application. Notice of the hearing shall be given as provided in Section 16-369. The Board of Alderman, at the public hearing and after review and discussion of the proposal, shall take one (1) of the following actions:*
 - a. Approval of the application, without conditions.*
 - b. Conditional approval of the application, indicating for the record what condition shall be attached to the proposal.*
 - c. Disapproval of the application, indicating for the record the reason for the recommendation of denial.*

Staff Comment: The applicant has submitted all necessary materials to the Planning Department. The application was sent out on referral, a public hearing was set and newspaper and sign posting notices were provided as required in Section 16-369.

- (5) Basis for approval. The Board of Aldermen shall give consideration to and satisfy themselves of the criteria set forth below on land use applications identified in Section 16-361 except subdivisions:*
 - a. That a need exists for the proposal;*
 - b. That the proposal is in conformance with the goals and objectives of the Comprehensive Plan;*

- c. *That there has been an error in the original zoning; or*
- d. *That there have been significant changes in the area to warrant a zone change;*
- e. *That adequate circulation exists in the area of the proposal and traffic movement would not be significantly impeded by the development resulting from the proposal; and*
- f. *That any additional cost for municipal-related services resulting from the proposal will not be incurred by the City.*

Staff Comment: A need exists for the proposed rezoning so that the land owner may develop the property in conformance with the Black Hawk Comprehensive Plan. The 2020 Comprehensive Plan identifies this area as the Miners Mesa District and encourages commercial and recreational uses, among others, in order to meet City goals including: the transition from a local gaming area to a regional resort destination, encouraging diversified commercial development that complements gaming, and strengthening outdoor recreational opportunities.

STAFF SUMMARY:

Staff from Baseline Corporation has evaluated the information provided by Ventana Capital requesting the rezone of the property on Miners Mesa. Conceptual plans for the property include a mini warehouse/storage, event center, camping, and indoor shooting range. The development of this property with these proposed uses is consistent with the Black Hawk Comprehensive Plan and City goals. In addition, the application was received and processed in accordance with the Municipal Code.

If rezoned to the Commercial/Business Services district, the mini warehouse/storage and event center uses will be permitted by right. The camping and indoor shooting range uses would require Special Review Use approval prior to development.

In summary, Staff recommends approval of the rezone of Lot 1 Block 1 Miners Mesa Subdivision Filing No 4.

FINDINGS:

City Council may *approve, conditionally approve, or deny* a rezone request. To support this proposal, the following findings can be used:

The proposed rezone of Lot 1 Block 1 Miners Mesa Subdivision Filing No 4 is consistent with the City of Black Hawk 2020 Comprehensive Plan and the City of Black Hawk Municipal Code Section 16-365 Rezoning Procedures as noted and evaluated in the staff report presented to City Council.

RECOMMENDATION:

Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE CB12 – Ordinance 2020-12, an Ordinance approving the rezone of Lot 1 Block 1 Miners Mesa Subdivision Filing No 4 from Hillside Development (HD) to Commercial/Business Services (CBS).

ATTACHMENTS:

- Combined Application

Applicant's Submittal



LAND USE APPLICATION FORM

City of Black Hawk
Community Planning and Development

211 Church Street, P.O. Box 68
Black Hawk, CO 80422

Phone: 303-582-0615
Fax: 303-582-2239

www.cityofblackhawk.org

DATE: 12/27/2019

APPLICANT NAME: Dalton Horan

APPLICANT ADDRESS: 9801 East Easter Avenue, Centennial, CO 80112

APPLICANT MAILING ADDRESS: 9801 East Easter Avenue, Centennial, CO 80112

APPLICANT CONTACT NUMBER: 303-946-8012 EMAIL ADDRESS: dahoran@ventanacap.com

PROPERTY OWNER NAME: Club Vista Properties II, LLC

PROPERTY OWNER ADDRESS: 145 East Warm Springs Road, Las Vegas, NV 89119

PROPERTY OWNER MAILING ADDRESS: 145 East Warm Springs Road, Las Vegas, NV 89119

PROPERTY OWNER CONTACT NUMBER: EMAIL ADDRESS:

PROJECT NAME: Black Hawk Park

PROJECT ADDRESS: Miners Mesa Road, Black Hawk, CO 80422

PROJECT DESCRIPTION: Mixed use low density commercial development: RV park, amphitheater, event barn and overnight suite, commercial storage and indoor shooting range.

IS PROPERTY WITHIN CITY LIMITS: YES ☒ NO ☐

PRESENT ZONING: HD CURRENT USE: vacant land

NAME OF EXISTING PLANNED UNIT DEVELOPMENT (IF APPLICABLE): N/A

NAME OF EXISTING SUBDIVISION PLAT (IF APPLICABLE): Miners Mesa Subdivision Filing #4

GILPIN COUNTY ASSESSOR'S I.D. NO.(S): R013116 EXISTING PROPERTY SIZE: 49 AC ACRES/SQ.FEET

(PLEASE ATTACH A COPY OF SURVEY/PLAT.)

EXISTING BUILDING SIZE: N/A SQ. FT. AND/OR NUMBER OF EXISTING RESIDENTIAL UNITS: 0

APPLICANT HAS READ AND ACKNOWLEDGES THE FOLLOWING:

For informational purposes, the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code establishes the requirement for applicants to pay fees to cover the costs the City may incur by having City approved consultants evaluate and process applications.

APPLICANT AGREES TO THE FOLLOWING CERTIFICATION STATEMENT AND AFFIDAVIT:

I, as the applicant, hereby certify that I believe to the best of my knowledge that all information supplied with this application is true and accurate and that consent of the property owner listed above, without which the requested action cannot lawfully be accomplished, has been granted. Permission is also hereby granted to the City of Black Hawk staff and their consultants to physically enter upon and inspect the subject property and take photographs as necessary for preparation of the case. In addition, I have read and understand the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code, and by signing this application I am agreeing that I am authorized to sign on behalf of the property owner, or business-owner, or applicant and commit and agree to the payment of any and all fees associated with processing this application and further agree to pay City of Black Hawk invoices associated with the processing of this application.

The application may be submitted electronically to the CP&D office by emailing Cynthia Linker at CLinker@cityofblackhawk.org with a copy to Janice Beecher at JBeecher@cityofblackhawk.org. Hard copy submittals may be required after the initial review of the electronic submittal. A receipt of application fee payment must accompany the application. Application fees may be paid online at: <http://www.cityofblackhawk.org/city-departments/community-planning-development/>

SIGNATURE OF APPLICANT: Dalton Horan

DATE: 12/26/2019

**Club Vista Properties II, LLC.,
a Nevada limited liability company**

Written Consent and Resolution of the Sole Member

The undersigned, being the sole member ("Member") of Club Vista Properties II, LLC., a Nevada limited liability company (the "Company"), acting pursuant to the Operating Agreement of the Company, hereby adopts, by this written consent, as of this ____ day of January, 2020, the following preambles and resolutions with the same force and effect as if they had been adopted at a duly convened meeting of the Member of the Company, and directs that this written consent be filed with the minutes of the proceedings of the Company.

WHEREAS, This authorization includes, but is not limited to, zoning amendment applications, submittal of a conceptual site plan, civil construction drawings, subdivision plats, developer agreements, development permits, architectural reviews, and building permit applications within Black Hawk Development which is approximately 49 acres generally located at the top of Miners Mesa Road, Black Hawk, Colorado 80422.

WHEREAS, Company is required to execute certain plats, improvement agreements, development agreements, easements and closing documents related to the Property, including conveyance and settlement documents (collectively referred to herein as the "Documents"); and

WHEREAS, the Member, having reviewed the foregoing and such other information as it deems necessary, and having determined that it is in the best interests of the Company to act upon the foregoing, desires to authorize the Company to take such actions herein specified.

NOW, THEREFORE, BE IT RESOLVED, that the Transaction is hereby authorized and approved in all respects; and

FURTHER RESOLVED, that the execution and delivery of the Documents by Company and the performance by Company under the Documents, are hereby authorized and approved in all respects; and

FURTHER RESOLVED, that Darwin Horan, as an "Authorized Signatory" ("Horan"), be and hereby is authorized and directed to execute and deliver, in the name and on behalf of Company, the Documents, on such forms as Horan shall deem proper, such execution by Horan to be conclusive evidence that Horan and the Company deem all of the terms and provisions of such Documents to be proper; and

FURTHER RESOLVED, that any acts of the Company or Horan, acting on behalf of the Company, which acts would have been authorized by the foregoing resolution are hereby severally ratified, confirmed, approved and adopted as the acts in the name and on behalf of each such entity that was a party to such acts.

This consent may be executed and delivered by facsimile or electronic signature, and a facsimile or electronic signature shall constitute an original signature.

IN WITNESS WHEREOF, the undersigned, being the sole Member of the Company, hereby consent to, approves and adopts the foregoing preambles and resolutions to be effective as of the date first set forth above.

SOLE MEMBER:

Club Vista Properties II, LLC

By: _____

Name: Gary Tharaldson

Title: President

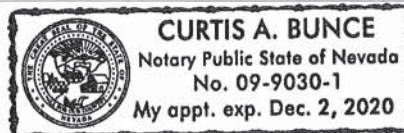
State of Nevada)
)ss.
County of Clark)

Subscribed to and sworn before me this 21st ^{January} day of 2020 by Gary Tharaldson.

Witness my hand and official seal.

My commission expires on the date shown on my seal affixed hereto.

Curtis A. Bunce
Notary Public



Club Vista Properties II, LLC
1201 Page Drive, Suite 200
Fargo, ND 58103

LETTER OF AUTHORIZATION

January, 21, 2020

To Whom It May Concern:

This letter will serve as official notice that Dalton Horan of Ventana Capital Inc. is authorized to represent Club Vista Properties II, LLC, in the processing of all documents and activities related to the submittal and processing of land use entitlements for the Black Hawk Development, which is approximately 49 acres generally located at the top of Miners Mesa Road, Black Hawk, Colorado 80422. This authorization includes, but is not limited to, zoning amendment applications, submittal of a conceptual site plan, civil construction drawings, subdivision plats, developer agreements, development permits, architectural reviews, and building permit applications. This authorization will expire on December 23, 2021, unless otherwise rescinded earlier in writing.

Sincerely,

By: _____

A handwritten signature in black ink, appearing to be 'Darwin Horan', written over a horizontal line.

Darwin Horan
Authorized Signatory.



February 5, 2020

City of Black Hawk
Community Planning & Development
211 Church Street
Black Hawk, CO 80422

SUBJECT: BLACK HAWK PARK – REZONING NARRATIVE (P-19-21)

To whom it may concern:

Rick Engineering Company (RICK) is pleased to submit the attached Re-zone package for the Black Hawk Park development on behalf of Ventana Capital, Inc. (the Applicant). We have included the Applicant's and Owner's contact information below for your reference:

Applicant:

Ventana Capital, Inc.
9801 E. Easter Ave.
Centennial, CO 80112
Contact: Dalton Horan
Phone: 303-340-7006
Email: dahoran@ventanacap.com

Owner:

Club Vista Properties II, LLC
145 East Warm Springs Road
Las Vegas, NV 89119

The Black Hawk Park property is located within the City of Black Hawk off Miner's Mesa Road. The property is approximately 48 acres in area. The property is currently Zoned Hillside Development – Mixed Use (HD). The City of Black Hawk comprehensive plan designates this property as Low Intensity Mixed Use and does not fall within a defined Overlay District.

The majority of the property is a plateau at the top of Miner's Mesa road overlooking the City of Black Hawk. The plateau area generally falls west to east, with a low point near the existing detention pond. The ground falls steeply from the plateau to the north and northeast extending past the property boundary. The Black Hawk Park property proposes a variety of complimentary and unique services and uses, including:

- RV park with centralized game room, laundry, restroom and shower facilities
- Open-air amphitheater
- Event Barn and adjacent overnight suite facilities, suitable as a wedding space and accompanying bridal suite
- Commercial storage facilities
- Indoor shooting range facilities suitable for rifle and small arms
- Distillery and brewery facilities

It is proposed to rezone the property from Hillside Development (HD) to Commercial/Business Services (C/BS) to provide zoning consistent with the above referenced land uses.

Please refer to the Existing Conditions Plan and Rezone Plan for additional information. It is intended that Site Development Plans will be submitted in the future and associated technical documents such as Traffic and Drainage studies will be included in the Site Development process once specific land uses are further defined.

Included with this cover letter and written description our submittal includes the following documents for your review:

- Application Form
- Title Commitment
- Warranty Deed
- Existing Conditions Survey Exhibit
- Rezoning Plan

If you have any questions regarding the documents provided with this application, please contact us at 303-537-8020.

Sincerely,
RICK ENGINEERING COMPANY

A handwritten signature in dark ink, appearing to read 'J. Krall', with a stylized flourish at the end.

Jason Krall, P.E.
Principal Project Engineer

[illegible]

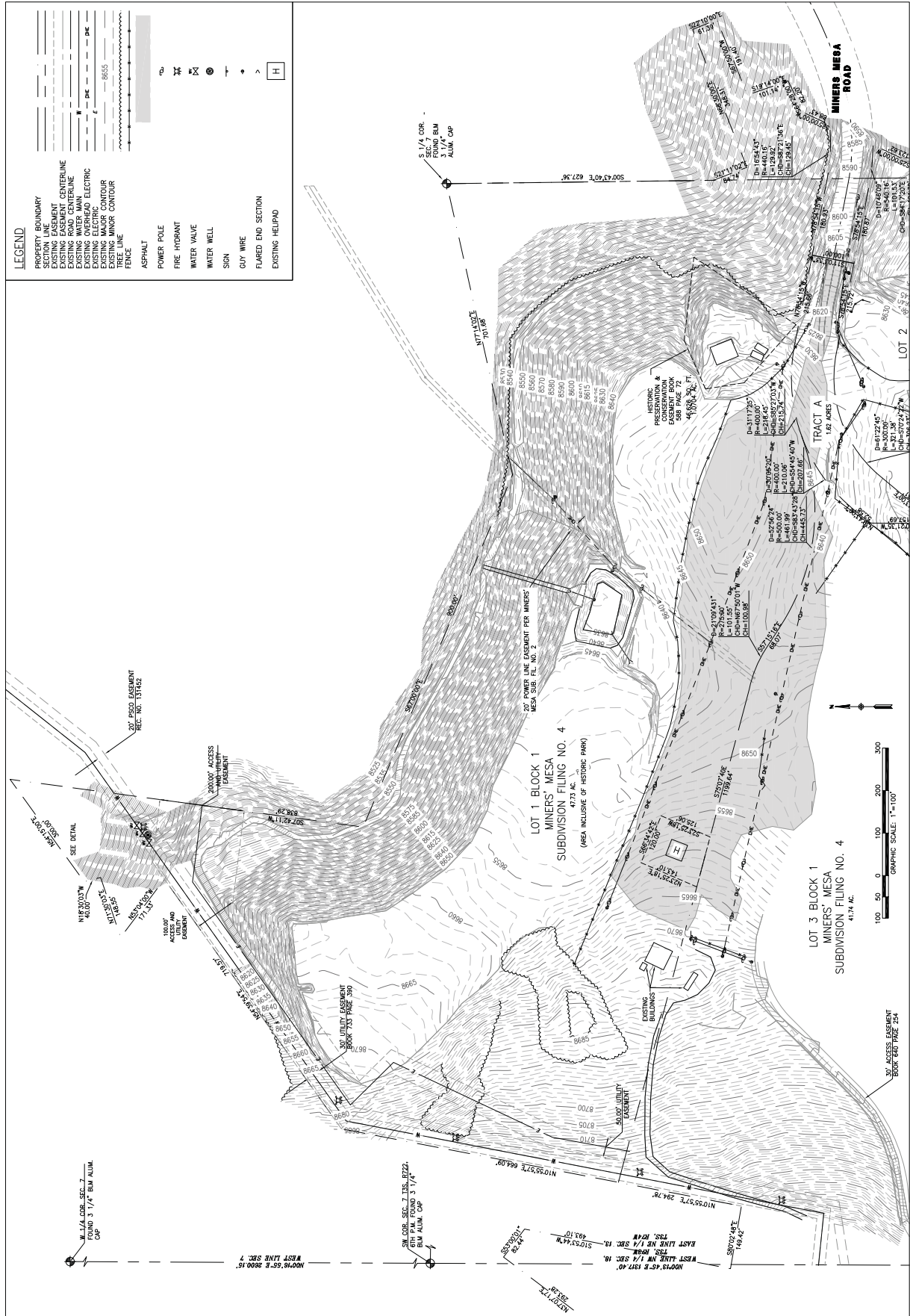
SIGNATURE	DATE
SIGNATURE	DATE

[illegible]

SCALE: 1"=100'
DATE: 02/12/2020
DRAWN BY: JG
CHECKED BY: JK
JOB NO: D01055

PROJECT NO.	D01055
DRAWING NO.	

SHEET NO. 1 OF 1 SHEETS



COMMERCIAL / BUSINESS SERVICES

- I. PRINCIPAL USES
1. COMMERCIAL USES
- A. RETAIL AND SERVICES
 - B. AUTOMOBILE SERVICE STATIONS
 - C. LODGING/ACCOMMODATIONS
 - D. RESTAURANTS
 - E. INDOOR RECREATION AND AMUSEMENT
 - F. PARKS AND COMMON AREAS
 - G. OFFICES
 - H. PARKS AND COMMON AREAS
 - I. PARKS AND COMMON AREAS
 - J. PARKING PUBLIC FACILITIES
 - K. EVENT CENTER (INDOOR AND OUTDOOR)
 - L. OUTDOOR RECREATION AND AMUSEMENT
 - M. OUTDOOR RECREATION AND AMUSEMENT
 - N. SURFACE TRANSPORTATION RELATED FACILITIES
 - O. PUBLIC MARKET/TRANSPORTATION
 - P. RECREATION/TRANSPORTATION
 - Q. INDOOR SHOOTING RANGES
 - R. CAMPGROUNDS INCLUDING THOSE PROVIDING RESIDENTIAL HOOD-UPS
 - S. BENTLEY AND BENTLEY FACILITIES
- II. ACCESSORY USES
1. THOSE WHICH ARE CUSTOMARILY INCIDENTAL TO ANY OF THE PERMITTED PRINCIPAL USES AND ARE LOCATED ON THE SAME LOT
- A. USES WHICH ARE CUSTOMARILY INCIDENTAL TO ANY OF THE PERMITTED PRINCIPAL USES AND ARE LOCATED ON THE SAME LOT
 - B. USES WHICH ARE CUSTOMARILY INCIDENTAL TO ANY OF THE PERMITTED PRINCIPAL USES AND ARE LOCATED ON THE SAME LOT
 - C. UTILITY INFRASTRUCTURE IF IT IS KEPT TO SERVE THE AREA IN WHICH IT IS LOCATED AND IS SO DESIGNED SO AS TO BE NON-OBTRUSIVE AND BLEND IN WITH THE SURROUNDING AREAS
- III. DIMENSIONAL REGULATIONS
1. LOT AREA AND WIDTH REQUIREMENTS
- A. MINIMUM LOT AREA: NONE
 - B. MINIMUM LOT DIMENSIONS: 50 FEET DEEP, 20 FEET WIDE
2. MINIMUM SETBACKS
- A. FRONT: 0 FEET
 - B. SIDE: 0 FEET
 - C. REAR: 0 FEET
3. MAXIMUM HEIGHT: 35 FEET

LEGEND

- PROPERTY BOUNDARY
- EXISTING EASEMENT
- EXISTING EASEMENT CENTERLINE
- EXISTING ROAD CENTERLINE

LEGAL DESCRIPTION

LOT 1, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 4, 4773 AC. (AREA INCLUSIVE OF HISTORIC PARK)

BLACK HAWK PARK
REZONE PLAN
GILPIN COUNTY

RICK
ENGINEERING COMPANY
8001 EAST 145TH AVE
CENTENNIAL CO 80112
303.877.8000
www.rickengineering.com

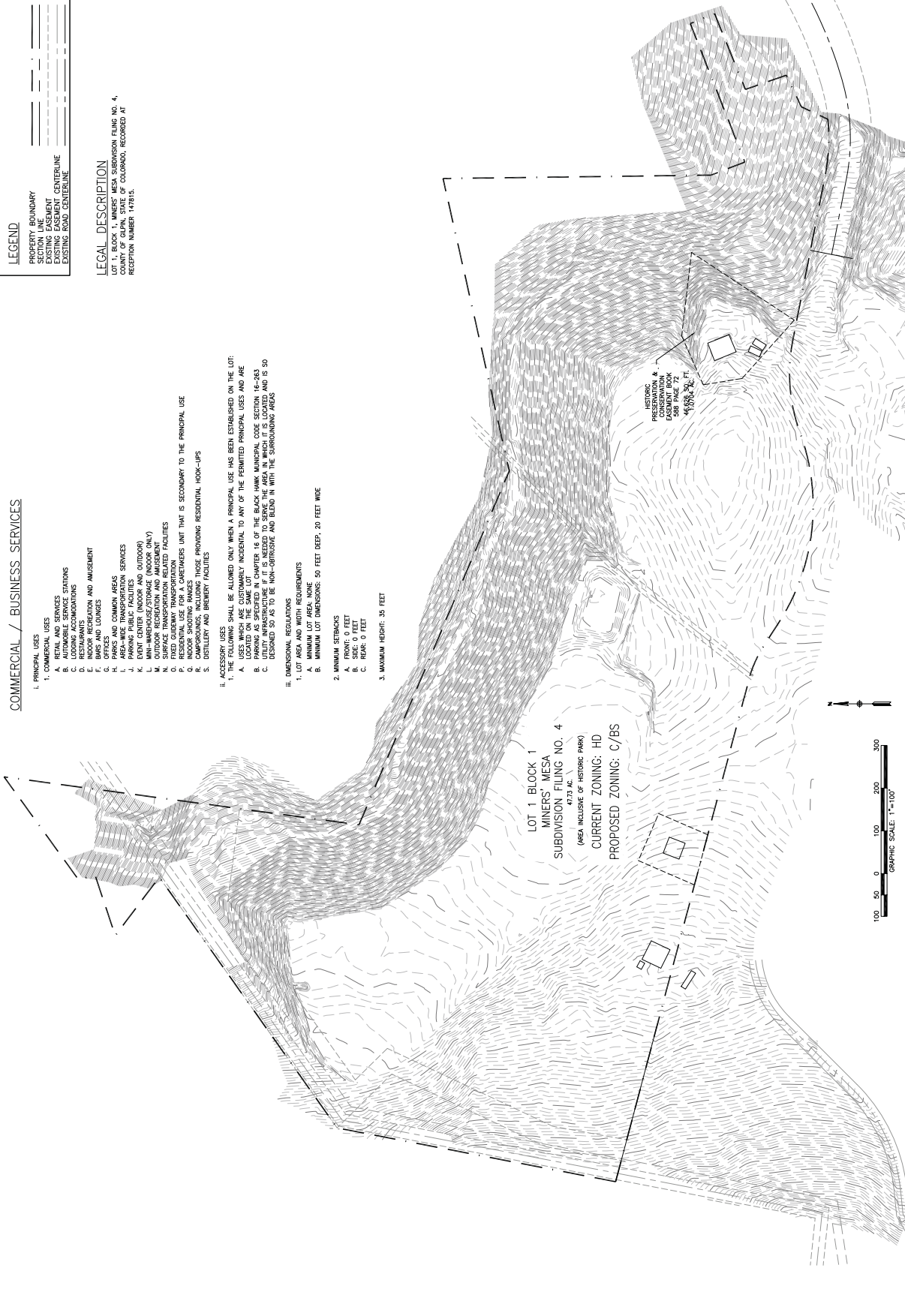
REVIEWED FOR COMPLIANCE BY:	
SIGNATURE	DATE
SIGNATURE	DATE

REVISIONS	
NO.	DESCRIPTION
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE
7	DATE
8	DATE
9	DATE
10	DATE

SCALE:	1"=100'
DATE:	04/20/2020
DRAWN BY:	JG
CHECKED BY:	JK
JOB NO.:	DD10055

PROJECT NO.:	DD10055
DRAWING NO.:	

SHEET NO. 1 OF 1 SHEETS



RESOLUTION 26-2020
A RESOLUTION
APPROVING THE MINOR
SUBDIVISION FOR THE
PROPERTY LOCATED ON
GREGORY STREET AND
MORE PARTICULARLY
DESCRIBED AS PORTIONS
OF LOTS 2, 3 AND 4 AND
ALL OF LOTS 5 THOUGH 8,
BLOCK 28, CITY OF BLACK
HAWK, COLORADO TO BE
KNOWN AS CITY OF BLACK
HAWK, BLOCK 28,
AMENDMENT NO. 1
(CONTINUED FROM
MARCH 25, 2020)

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No.: 26-2020

**TITLE: A RESOLUTION APPROVING THE MINOR SUBDIVISION FOR THE
PROPERTY LOCATED ON GREGORY STREET AND MORE
PARTICULARLY DESCRIBED AS PORTIONS OF LOTS 2, 3 AND 4 AND
ALL OF LOTS 5 THOUGH 8, BLOCK 28, CITY OF BLACK HAWK,
COLORADO TO BE KNOWN AS CITY OF BLACK HAWK, BLOCK 28,
AMENDMENT NO. 1**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the Minor Subdivision for the property
located on Gregory Street and more particularly described as portions of Lots 2, 3 and 4 and all of
Lots 5 through 8, Block 28, City of Black Hawk, Colorado, as set forth in **Exhibit A**, attached
hereto and incorporated herein by this reference, to be known as City of Black Hawk, Block 28,
Amendment No. 1.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

EXHIBIT A

VICINITY MAP
N.T.S.

CITY OF BLACK HAWK, BLOCK 28 AMENDMENT NO. 1

A MINOR SUBDIVISION OF A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8, BLOCK 28, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO

BASELINE
Engineering - Planning - Surveying
400 S. LINCOLN AVENUE, SUITE 400 - FORT COLLINS, COLORADO 80501
P. 970.232.0005 F. 970.232.0006 W. www.baselinesurvey.com

DISCUSSION:

A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8, BLOCK 28, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ANGLE POINT IN THE SOUTHERLY LINE OF SAID BLOCK 28, WHENCE THE SOUTHERLY LINE IS ASSUMED TO BEAR NORTH 38°49'34" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ON THE SOUTHERLY LINE OF SAID BLOCK 28 SOUTH 65°33'32" WEST A DISTANCE OF 55.47 FEET TO THE LINE DESCRIBED IN THE BOUNDARY LINE AGREEMENT, RECORDED UNDER RECEPTION NUMBER 153289 IN THE GILPIN COUNTY RECORDS;

THENCE ON SAID LINE NORTH 18°06'46" WEST A DISTANCE OF 95.05 FEET TO THE NORTHERLY LINE OF SAID BLOCK 28;

THENCE ALONG THE NORTHERLY LINE OF SAID BLOCK 28 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 51°06'27" EAST A DISTANCE OF 100.00 FEET;
2. NORTH 30°11'18" EAST A DISTANCE OF 58.80 FEET;
3. NORTH 31°13'49" WEST A DISTANCE OF 12.36 FEET;
4. NORTH 38°49'34" EAST A DISTANCE OF 15.72 FEET TO THE COMMON LINE OF LOTS 8 AND 9, BLOCK 28, BASED UPON THE APPROVED CITY OF BLACK HAWK SURVEY MAP OF BLOCK 28;

THENCE ON SAID COMMON LINE SOUTH 51°02'26" EAST A DISTANCE OF 100.00 FEET TO THE SOUTHERLY LINE OF SAID BLOCK 28;

THENCE ON SAID SOUTHERLY LINE SOUTH 38°49'34" WEST A DISTANCE OF 189.72 FEET TO THE POINT OF BEGINNING, CONTAINING 19.435 SQ. FT. OR 0.45 ACRES MORE OR LESS.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THE BELOW SIGNED OWNERS OF THAT REAL PROPERTY SITUATED IN THE CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE FULLY DESCRIBED AS FOLLOWS:

A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5-8, BLOCK 28, BASED UPON THE APPROVED MAP OF "CITY OF BLACK HAWK - SURVEY MAP OF SAID BLOCK, OF THE 'MAP OF BLACK HAWK, SURVEYED BY ALBERT JOHNSON, CITY SURVEYOR' DATED MAY AND JUNE 1886", LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO.

HAS CAUSED SAID REAL PROPERTY TO BE Laid OUT AND SURVEYED AS CITY OF BLACK HAWK, BLOCK 28 AMENDMENT NO. 1.

IN WITNESS WHEREOF, DAVID D. SPELLMAN, AS MAYOR AND CHAIRMAN AND MELISSA A. GREINER, CMC, CITY CLERK HAVE CAUSED THEIR NAMES TO BE HEREUNTO SUBSCRIBED THIS _____ DAY OF _____, 2020.

CITY OF BLACK HAWK

BY: DAVID D. SPELLMAN, MAYOR ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

BLACK HAWK URBAN RENEWAL AUTHORITY

BY: DAVID D. SPELLMAN, CHAIRMAN ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

MAYOR'S CERTIFICATE:

THE FOREGOING AMENDMENT IS APPROVED FOR FILING AND ACCEPTED BY THE BOARD OF ALDERMEN OF THE CITY OF BLACK HAWK, COLORADO, THIS _____ DAY OF _____, A.D., 2020.

DAVID D. SPELLMAN, MAYOR ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

CLERK AND RECORDER'S CERTIFICATE:

ACCEPTING FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF GILPIN COUNTY AT CENTRAL CITY, COLORADO, THIS _____ DAY OF _____, 2020.

COUNTY CLERK AND RECORDER BY: DEPUTY CLERK

NOTES:

1. THE PURPOSE OF THIS MINOR SUBDIVISION IS TO RECONFIGURE A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8 IN BLOCK 28.
2. THIS AMENDMENT PLAT IS BASED UPON THE APPROVED CITY OF BLACK HAWK SURVEY MAP OF BLOCK 28. THIS SURVEY MAP IS RECOGNIZED BY THE CITY OF BLACK HAWK AS THE CONTROLLING BOUNDARY INFORMATION.
3. BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE SOUTHERLY LINE OF BLOCK 28 ASSUMING TO BEAR NORTH 38°49'34" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
4. ALL GENERAL NOTES AS SHOWN ON THE CITY OF BLACK HAWK - SURVEY MAP OF BLOCK 28, OF THE "MAP OF BLACK HAWK AS SURVEYED BY ALBERT JOHNSON, CITY SURVEYOR" DATED MAY AND JUNE 1886, SHALL APPLY UNLESS SPECIFICALLY AMENDED AND SUPERSEDED HEREBY.
5. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
6. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITTS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
7. ACREAGE CALCULATIONS ARE BASED UPON THE PERIMETER BOUNDARY AS SHOWN HEREON.
8. DISTANCES ON THIS PLAT ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

LINE/TYPE LEGEND

— SUBJECT BOUNDARY

— PROPERTY LINE

SYMBOL LEGEND

1 (●) FOUND NAIL AND BRASS TAG MARKED "PLS 38495"

2 (●) FOUND NO. 4 REBAR WITH 2" ALUMINUM CAP MARKED "CITY OF BLACK HAWK PLS 26296"

3 (●) FOUND NAIL AND BRASS TAG MARKED "PLS 26296"

4 (●) FOUND NAIL AND DISK MARKED "PLS 38245"

● SET NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP MARKED "BASELINE CORP. PLS 38285"

SURVEYOR'S STATEMENT:

I, AARON ALVIN DEMO, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS SURVEY PLAT OF CITY OF BLACK HAWK, BLOCK 28, AMENDMENT NO. 1, WAS PREPARED FROM AN ACTUAL SURVEY UNDER MY PERSONAL SUPERVISION, AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION THEREOF, THAT THE INFORMATION AS INDICATED HEREON WAS FOUND OR SET AS SHOWN, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

AARON ALVIN DEMO, PLS
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 38285
FOR AND ON BEHALF OF BASELINE CORPORATION

CLERK AND RECORDER:

CITY OF BLACK HAWK

COUNTY OF GILPIN

BLOCK 28, AMENDMENT NO. 1

DATE: 10/27/2019

BY: AARON ALVIN DEMO

FOR AND ON BEHALF OF BASELINE CORPORATION

DATE: 10/27/2019

BY: MELISSA A. GREINER

FOR AND ON BEHALF OF CITY OF BLACK HAWK

DATE: 10/27/2019

BY: DAVID D. SPELLMAN

FOR AND ON BEHALF OF BLACK HAWK URBAN RENEWAL AUTHORITY

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Black Hawk Board of Aldermen shall hold a public hearing concerning a request for a Minor Subdivision creating two lots on property described in Exhibit A and generally located at 211 – 221 Gregory Street and 201 Selak Street, pursuant to the City of Black Hawk zoning ordinance.

The public hearing is to be held before the City of Black Hawk Board of Aldermen on Wednesday, March 25, 2020, at 3:00 p.m. or as soon as possible thereafter. The public hearing shall be held in the City of Black Hawk Council Chambers, located at 211 Church Street, Black Hawk, CO 80422, or at such other time of place in the event this hearing is adjourned.

ALL INTERESTED PARTIES MAY ATTEND

Melissa A. Greiner, CMC
City Clerk

EXHIBIT A

A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8, BLOCK 28, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ANGLE POINT IN THE SOUTHERLY LINE OF SAID BLOCK 28, WHENCE THE SOUTHERLY LINE IS ASSUMED TO BEAR NORTH 38°49'34" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ON THE SOUTHERLY LINE OF SAID BLOCK 28 SOUTH 65°33'32" WEST A DISTANCE OF 55.47 FEET TO THE LINE DESCRIBED IN THE BOUNDARY LINE AGREEMENT, RECORDED UNDER RECEPTION NUMBER 153289 IN THE GILPIN COUNTY RECORDS;

THENCE ON SAID LINE NORTH 16°06'46" WEST A DISTANCE OF 95.05 FEET TO THE NORTHERLY LINE OF SAID BLOCK 28;

THENCE ALONG THE NORTHERLY LINE OF SAID BLOCK THE FOLLOWING FOUR (4) COURSES:

1. NORTH 51°06'27" EAST A DISTANCE OF 109.09 FEET;
2. NORTH 30°11'18" EAST A DISTANCE OF 58.80 FEET;

3. NORTH $31^{\circ}13'49''$ WEST A DISTANCE OF 12.36 FEET;
4. NORTH $38^{\circ}49'34''$ EAST A DISTANCE OF 15.72 FEET TO THE COMMON LINE OF LOTS 8 AND 9, BLOCK 28, BASED UPON THE APPROVED CITY OF BLACK HAWK SURVEY MAP OF BLOCK 28;

THENCE ON SAID COMMON LINE SOUTH $51^{\circ}10'26''$ EAST A DISTANCE OF 100.00 FEET TO THE SOUTHERLY LINE OF SAID BLOCK 28;

THENCE ON SAID SOUTHERLY LINE SOUTH $38^{\circ}49'34''$ WEST A DISTANCE OF 189.72 FEET TO THE POINT OF BEGINNING, CONTAINING 19,435 SQ. FT. OR 0.45 ACRES MORE OR LESS.

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: To consider a Resolution approving City of Black Hawk, Block 28 Amendment No. 1, a Minor Subdivision Plat creating 2 lots within Block 28 of the City of Black Hawk.

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 26-2020, a Resolution approving City of Black Hawk, Block 28 Amendment No. 1, a Minor Subdivision Plat creating 2 lots within portions of Lots 2, 3 and 4 and all of lots 5 through 8, Block 28, City of Black Hawk.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The City of Black Hawk is requesting approval of City of Black Hawk, Block 28 Amendment No. 1, a Minor Subdivision Plat creating 2 lots within Block 28 of the City of Black Hawk. The minor subdivision adjusts the lot lines of portions of Lots 2, 3 and 4 and all of lots 5 through 8, Block 28, City of Black Hawk. This minor subdivision creates one lot for property located at 221 Gregory Street (planned for redevelopment) and one lot for property located at 201 Selak Street (existing City Hall). Refer to the Staff Report included with this Request for Council Action.

AGENDA DATE:

March 25, 2020
Rescheduled for May 13, 2020

WORKSHOP DATE:

N/A

FUNDING SOURCE:

N/A

DEPARTMENT DIRECTOR APPROVAL:

☒ Yes ☐ No

STAFF PERSON RESPONSIBLE:

Cynthia L. Linker
CP&D Director

DOCUMENTS ATTACHED:

Resolution 26-2020
Public Hearing Notice
Staff Report
Combined Application

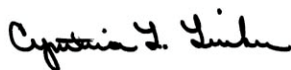
RECORD:

☒ Yes ☐ No

CITY ATTORNEY REVIEW:

☐ Yes ☒ N/A

SUBMITTED BY:

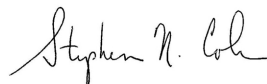


Cynthia L. Linker, CP&D Director



Vincent Harris, AICP, Baseline Corporation

REVIEWED BY:



Stephen N. Cole, City Manager



Staff Report

**CITY OF BLACK HAWK
PLANNING / LAND USE**

Date prepared: March 12, 2020
Meeting Date: March 25, 2020
Rescheduled Meeting Date: May 13, 2020

STAFF REPORT: Minor Subdivision: City of Black Hawk Block 28 Amendment No. 1

For: City Council
Project: P-20-09 City of Black Hawk Block 28 Amendment No. 1
Property Address: 221 Gregory Street, Black Hawk, CO 80422
201 Selak Street, Black Hawk, CO 80422
Applicants: Matt Reed, City of Black Hawk
Black Hawk Urban Renewal Authority
Zoning: History Appreciation Recreation Destination (HARD) and
Historic Appreciation Preservation (HAP)
Prepared by: Julie Esterl - Baseline Corporation
Approved by: Vincent Harris, AICP - Baseline Corporation
Reviewed by: Cynthia Linker, CP&D Director



BACKGROUND:

On February 21, 2020 Matt Reed, on behalf of the City of Black Hawk, submitted an application request for a 2-lot Minor Subdivision for property located at 201 Selak Street and 211-221 Gregory Street. The property owners, the City of Black Hawk and the Black Hawk Urban Renewal Authority, wish to adjust the lot lines in order to make two lots. One lot will be for the existing City Hall building at 201 Selak Street. The other lot will be for the existing building at 221 Gregory Street and the 211 address will no longer be used. The properties consist of approximately 0.45 acres within portions of Lots 2, 3 and 4 and all of lots 5 through 8, Block 28, City of Black Hawk.

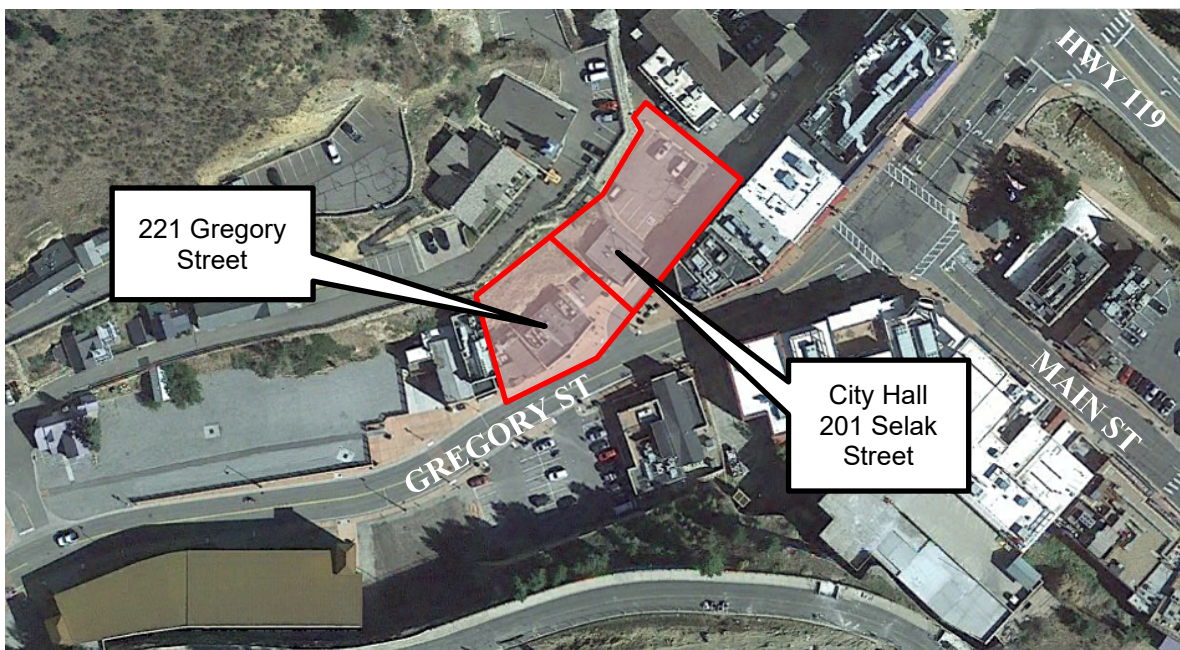


Figure 1: Location Map

ZONING:

The western portion of the property is zoned History Appreciation Recreation Destination (HARD), and the eastern portion is zoned Historic Appreciation Preservation (HAP). The HARD District allows and accommodates “*areas owned by, dedicated to, purchased, or acquired by the City, or dedicated to a public use, which allows for the City to provide recreation, both passive and active, and destination activities for the residents and visitors of the City.*” The proposed retail use of the existing building is consistent with this zone district. The HAP District allows and accommodates “*areas owned by, dedicated to, purchased, or acquired by the City, or dedicated to a public use, which contain buildings and/or uses which contain historic structures and/or uses or which otherwise preserve the identity and culture of the City.*” The existing City Hall use is consistent with the HAP District.

Although the existing structures are located within the appropriate zone districts, the proposed lot line between the two lots in this minor subdivision does not align with the existing zoning. Future rezoning of this area should be considered in order to match the zoning with the property lines. This is in progress and will be presented to City Council in the near future.

Side setbacks for both the HARD and HAP districts are zero (0) feet. This minor subdivision will not cause either of the buildings to become non-conforming as to setbacks.

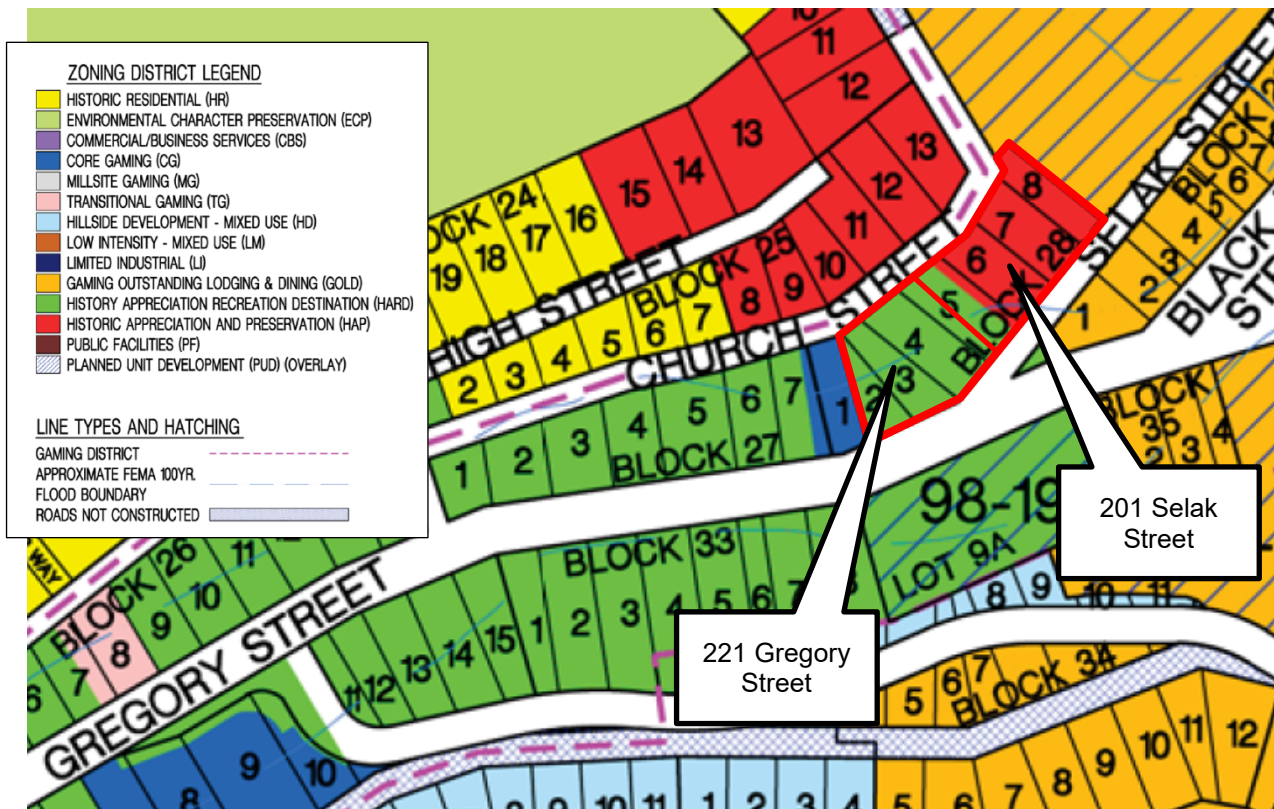


Figure 2: Zoning Map

REQUEST:

The City of Black Hawk, in conjunction with the Black Hawk Urban Renewal Authority, has plans to renovate the building at 221 Gregory Street with the purpose of creating four retail spaces within the one building. Previously, the building had three different ownerships over three different lots. The Black Hawk Urban Renewal Authority now owns all three properties and desires to consolidate them into one building and one lot. In addition, the City, as owner of the property located at 201 Selak Street desires to consolidate the original lots of Block 28 into a single lot for City Hall in order to make it a legal lot of record. In addition, the boundary between the two sites is being adjusted.

Applicable City of Black Hawk Regulations

City of Black Hawk Municipal Code Chapter 17 - Subdivisions

Sec. 17-42. Specific Definitions.

Subdivision, minor means any subdivision containing not more than four (4) lots or dwelling units having access on an existing public street, not involving any new street or road or the extension of municipal facilities and not adversely affecting the development of the remainder of the parcel or adjoining property and not in conflict with any provision or portion of the Comprehensive Plan, official map or Chapter 16 of this Code, if such exists, or these regulations. Minor subdivisions, as defined herein, shall be exempt from the requirements relating to the submission of a preliminary plat. The subdivider shall submit to the Board of Aldermen, at any regular meeting, fifteen (15) copies of the minor subdivision plat. The plat shall contain any one (1) or all of the items of information required for a plat under Section 17-65, in accordance with requirements to be determined by the Planning Director in individual cases.

Sec. 17-65. Minor Subdivision Plat.

(a) A minor subdivision plat allows for the subdivider an opportunity to shorten the time required for platting procedures described in this Chapter. The minor subdivision plat procedure is not intended to circumvent the other requirements found elsewhere in this Chapter. The provisions within this Section may only be applied when the following criteria are met:

(1) The division of land involves the creation of no more than four (4) lots.

(2) Each of the proposed lots created by this procedure has direct access to a public right-of-way. Access shall be a minimum driveway width of ten (10) feet except as required by other ordinances or design standards within the City.

(3) The subdivision of land does not involve the creation of a new right-of-way or an extension of an existing right-of-way intended for access to the proposed lots.

(b) The minor subdivision plat shall be processed in a manner similarly described by the final plat procedure contained within Subsection 17-64(b). There is no requirement for a sketch plan or preliminary plat procedure. The Planning Director may refer the minor subdivision plat to outside agencies for their review and comment. Agencies selected by the Planning Director for this review will have two (2) weeks to respond.

(c) The minor subdivision plat shall be prepared in a similar manner as the final plat described in Subsections 17-64(c) and (d). In addition to the submittal information required in this Section, the following shall also be provided by the applicant: [maps, etc.].

Staff Comment: The proposed minor subdivision meets the criteria outlined for a Minor Subdivision Plat. It does not create more than four lots, each of the two lots created have direct access to the public right-of-way, and the land division does not create new right-of-way.

Sec. 17-64. Final Plat.

(b) The final plat shall be processed as follows:

(2) At a regular meeting, the Board of Aldermen shall review the final plat for conformity with the approved preliminary plat, the statement of requirements and other requirements of these regulations. The Board of Aldermen may refer the final plat to its staff for further review and verification. The Planning Director shall send final plats to public and private utility agencies for them to review utility easement locations. The Board of Aldermen shall endeavor to conclude its review prior to the expiration of thirty (30) days from submission of the final plat to itself as above provided.

(3) The Board of Aldermen shall check the final plat, especially with regard to required improvements and the acceptance of areas dedicated for public use and shall approve or disapprove the final plat. At such meeting the subdivision agreement and all required financial guarantees for completion of the roads and other public improvements shall be provided by the subdivider.

Staff Comment: The proposed minor subdivision was processed in the same manner as a final plat. The application was sent to standard internal and external referral agencies for review and comment, including local utility providers. No comments were received. No right-of-way will be dedicated and no public improvements will result from this minor subdivision.

STAFF SUMMARY:

Staff from Baseline Corporation has evaluated the proposed minor subdivision plat. The City of Black Hawk Municipal Code specifies that minor subdivision plats shall be processed similarly to final plats, but with no need for a sketch plan and preliminary plat.

The proposed subdivision was processed in the same manner as a final plat, and meets the intent of the minor subdivision definitions and process. No more than four lots are created and the lots are accessed from existing public rights-of-way (Gregory Street and Selak Street). The minor subdivision plat is able to be approved, finalized, and recorded.

In summary, Staff recommends that the Minor Subdivision titled City of Black Hawk, Block 28, Amendment No. 1 be approved.

FINDINGS:

City Council may *approve, conditionally approve, or deny* a Minor Subdivision of land in the City of Black Hawk. To support this proposal, the following findings can be used:

1. Application has been made by property owner, which are the City of Black Hawk and the Black Hawk Urban Renewal Authority, for a minor subdivision for the purpose of rearranging lot lines in Block 28.
2. Public notice has been given of such subdivision by one publication in a newspaper of general circulation within the City and the official newspaper of the City at least fifteen (15) days before the public hearing.
3. Notice of such proposed hearing was posted on the property for fifteen (15) consecutive days prior to said hearing.
4. The application meets the provisions of Chapter 17 of the Municipal Code (Subdivisions).

RECOMMENDATION:

Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution No. 26-2020, a Resolution approving the Minor Subdivision titled City of Black Hawk, Block 28, Amendment No. 1.

ATTACHMENTS:

1. Land Development Application Form
2. Minor Subdivision Plat

Applicant's Submittal



LAND USE APPLICATION FORM

City of Black Hawk
Community Planning and Development

211 Church Street, P.O. Box 68
Black Hawk, CO 80422

Phone: 303-582-0615
Fax: 303-582-2239

www.cityofblackhawk.org

DATE: February 21, 2020

APPLICANT NAME: Matt Reed, City of Black Hawk

APPLICANT ADDRESS: 987 Miners Mesa Road, Black Hawk, CO 80422

APPLICANT MAILING ADDRESS: P.O. Box 68, Black Hawk, CO 80422

APPLICANT CONTACT NUMBER: (303) 582-2288 EMAIL ADDRESS: mreed@cityofblackhawk.org

PROPERTY OWNER NAME: City of Black Hawk & Black Hawk Urban Renewal Authority

PROPERTY OWNER ADDRESS: 201 Selak Street, Black Hawk, CO 80422

PROPERTY OWNER MAILING ADDRESS: PO Box 68, Black Hawk, CO 80422

PROPERTY OWNER CONTACT NUMBER: (303) 582-2200 EMAIL ADDRESS: scole@cityofblackhawk.org

PROJECT NAME: City of Black Hawk Block 28 Amendment No. 1

PROJECT ADDRESS: 201 Selak Street, 211 Gregory Street, 221 Gregory Street

PROJECT DESCRIPTION: Minor Subdivision to remove & adjust lot lines

IS PROPERTY WITHIN CITY LIMITS: YES ☒ NO ☐

PRESENT ZONING: HAP and HARD CURRENT USE: City Hall and vacant comm. building

NAME OF EXISTING PLANNED UNIT DEVELOPMENT (IF APPLICABLE): n/a

NAME OF EXISTING SUBDIVISION PLAT (IF APPLICABLE): City of Black Hawk

GILPIN COUNTY ASSESSOR'S I.D. NO.(S): various EXISTING PROPERTY SIZE: 19,435 sf ACRES/SQ.FEET

(PLEASE ATTACH A COPY OF SURVEY/PLAT.)

EXISTING BUILDING SIZE: 3,040 & 1,210 SQ. FT. AND/OR NUMBER OF EXISTING RESIDENTIAL UNITS: 0

APPLICANT HAS READ AND ACKNOWLEDGES THE FOLLOWING:

For informational purposes, the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code establishes the requirement for applicants to pay fees to cover the costs the City may incur by having City approved consultants evaluate and process applications.

APPLICANT AGREES TO THE FOLLOWING CERTIFICATION STATEMENT AND AFFIDAVIT:

I, as the applicant, hereby certify that I believe to the best of my knowledge that all information supplied with this application is true and accurate and that consent of the property owner listed above, without which the requested action cannot lawfully be accomplished, has been granted. Permission is also hereby granted to the City of Black Hawk staff and their consultants to physically enter upon and inspect the subject property and take photographs as necessary for preparation of the case. In addition, I have read and understand the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code, and by signing this application I am agreeing that I am authorized to sign on behalf of the property owner, or business-owner, or applicant and commit and agree to the payment of any and all fees associated with processing this application and further agree to pay City of Black Hawk invoices associated with the processing of this application.

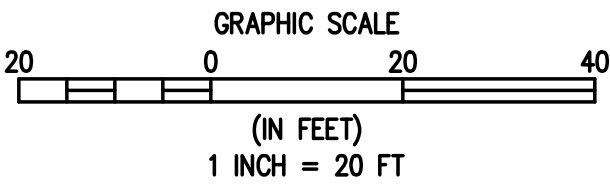
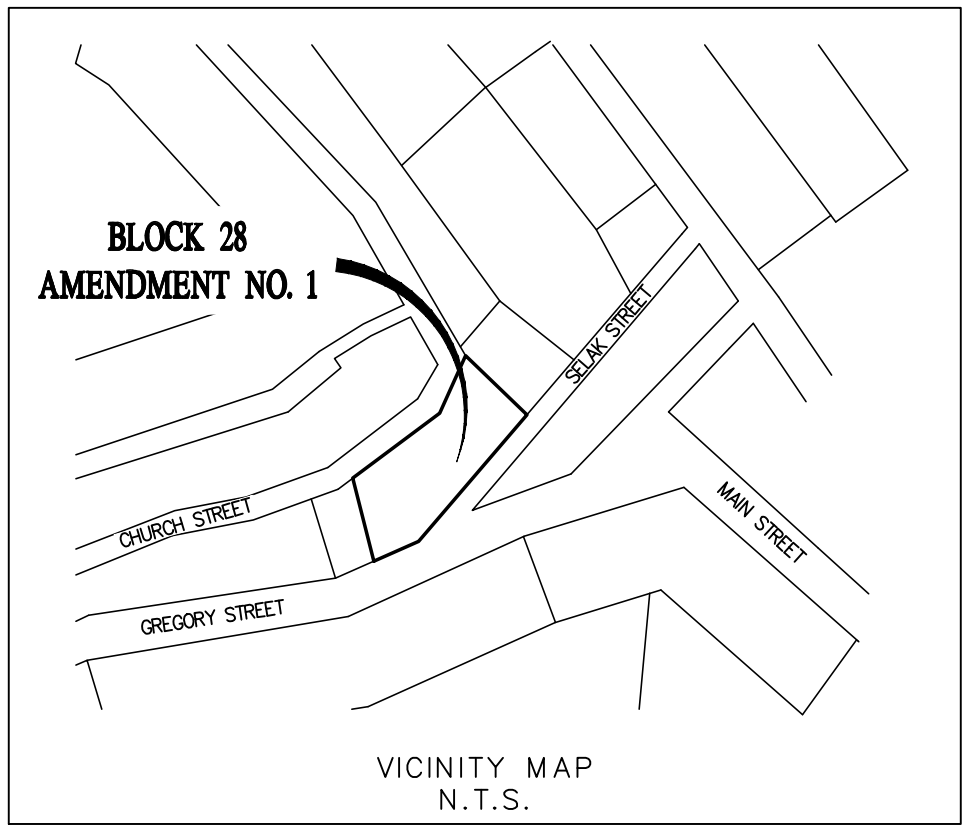
The application must be submitted in person to the Community Planning and Development office. A complete submittal of one (1) hard copy set and one (1) electronic copy in PDF format on flash drive, as well as the receipt of application fee payment, must accompany the application. Application fees may be paid online at: <http://www.cityofblackhawk.org/city-departments/community-planning-development/>

SIGNATURE OF APPLICANT: Matt Reed

Digitally signed by Matt Reed
Date: 2020.02.21 08:43:36 -07'00'

DATE: February 21, 2020

M:\co-black hawk on call\PROJECTS\co-S-19-03 BLOCK 28\Drawings\S-19-03 BLOCK 28, AMENDMENT NO. 1.dwg, 3/13/2020 9:45:58 AM, Julie Esterl



DESCRIPTION:

A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8, BLOCK 28, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ANGLE POINT IN THE SOUTHERLY LINE OF SAID BLOCK 28, WHENCE THE SOUTHERLY LINE IS ASSUMED TO BEAR NORTH 38°49'34" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ON THE SOUTHERLY LINE OF SAID BLOCK 28 SOUTH 65°33'32" WEST A DISTANCE OF 55.47 FEET TO THE LINE DESCRIBED IN THE BOUNDARY LINE AGREEMENT, RECORDED UNDER RECEPTION NUMBER 153289 IN THE GILPIN COUNTY RECORDS;

THENCE ON SAID LINE NORTH 16°06'46" WEST A DISTANCE OF 95.05 FEET TO THE NORTHERLY LINE OF SAID BLOCK 28;

THENCE ALONG THE NORTHERLY LINE OF SAID BLOCK THE FOLLOWING FOUR (4) COURSES:

1. NORTH 51°06'27" EAST A DISTANCE OF 109.09 FEET;
2. NORTH 30°11'18" EAST A DISTANCE OF 58.80 FEET;
3. NORTH 31°13'49" WEST A DISTANCE OF 12.36 FEET;
4. NORTH 38°49'34" EAST A DISTANCE OF 15.72 FEET TO THE COMMON LINE OF LOTS 8 AND 9, BLOCK 28, BASED UPON THE APPROVED CITY OF BLACK HAWK SURVEY MAP OF BLOCK 28;

THENCE ON SAID COMMON LINE SOUTH 51°10'26" EAST A DISTANCE OF 100.00 FEET TO THE SOUTHERLY LINE OF SAID BLOCK 28;

THENCE ON SAID SOUTHERLY LINE SOUTH 38°49'34" WEST A DISTANCE OF 189.72 FEET TO THE POINT OF BEGINNING, CONTAINING 19,435 SQ. FT. OR 0.45 ACRES MORE OR LESS.

NOTES:

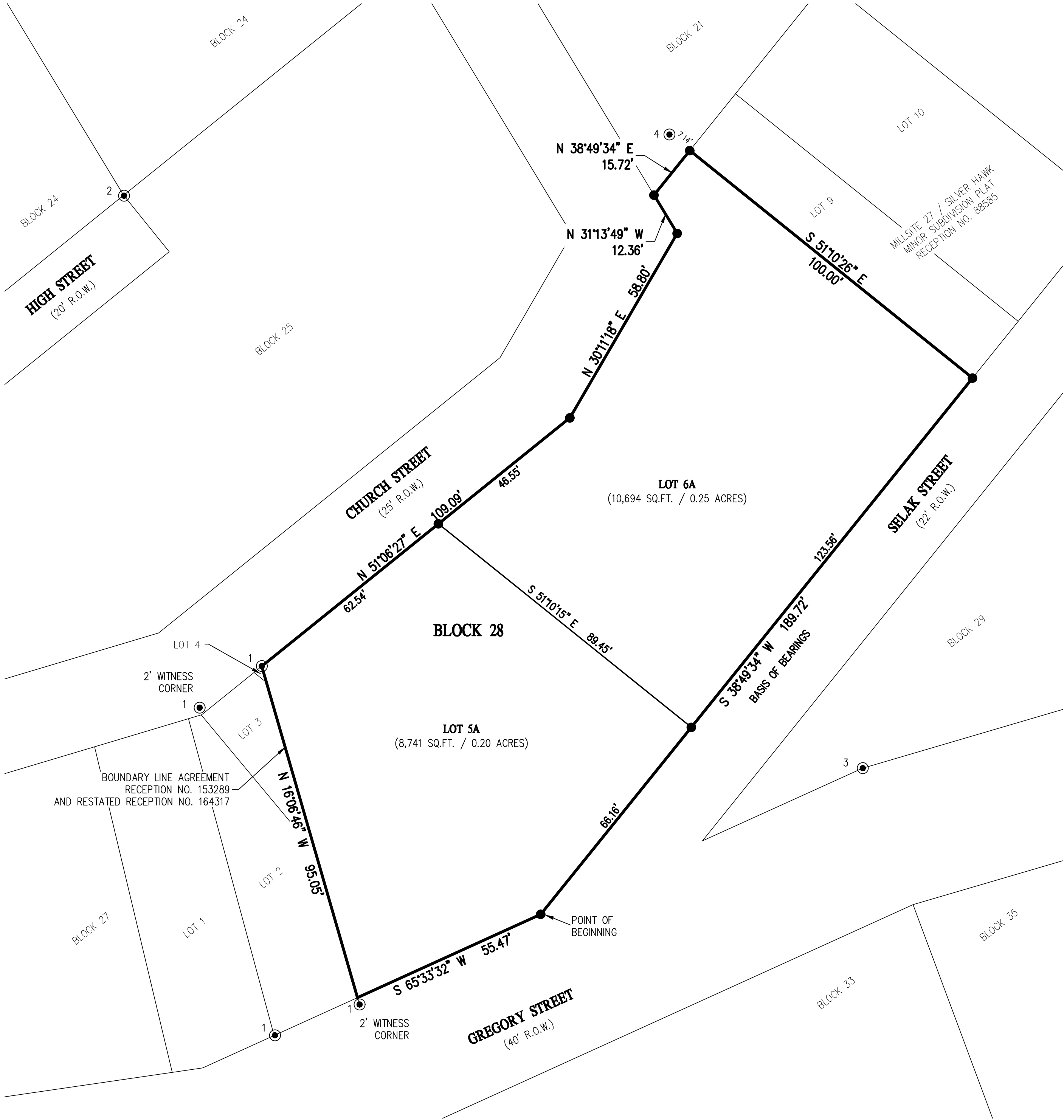
1. THE PURPOSE OF THIS MINOR SUBDIVISION IS TO RECONFIGURE A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5 THROUGH 8 IN BLOCK 28.
2. THIS ADJUSTMENT PLAT IS BASED UPON THE APPROVED CITY OF BLACK HAWK SURVEY MAP OF BLOCK 28. THIS SURVEY MAP IS RECOGNIZED BY THE CITY OF BLACK HAWK AS THE CONTROLLING BOUNDARY INFORMATION.
3. BASIS OF BEARING: BEARINGS ARE BASED UPON THE SOUTHERLY LINE OF BLOCK 28 ASSUMING TO BEAR NORTH 38°49'34" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
4. ALL GENERAL NOTES AS SHOWN ON THE CITY OF BLACK HAWK-SURVEY MAP OF BLOCK 28, OF THE "MAP OF BLACK HAWK AS SURVEYED BY ALBERT JOHNSON, CITY SURVEYOR" DATED MAY AND JUNE 1866, SHALL APPLY UNLESS SPECIFICALLY AMENDED AND SUPERSEDED HEREBY.
5. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
6. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
7. ACREAGE CALCULATIONS ARE BASED UPON THE PERIMETER BOUNDARY AS SHOWN HEREON.
8. DISTANCES ON THIS PLAT ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

LINETYPE LEGEND

— SUBJECT BOUNDARY
— PROPERTY LINE

SYMBOL LEGEND

1. FOUND NAIL AND BRASS TAG MARKED "PLS 38495"
2. FOUND NO. 4 REBAR WITH 2" ALUMINUM CAP MARKED "CITY OF BLACK HAWK PLS 26296"
3. FOUND NAIL AND BRASS TAG MARKED "PLS 26296"
4. FOUND NAIL AND DISK MARKED "PLS 38245"
- SET NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP MARKED "BASELINE CORP. PLS 38285"



DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THE BELOW SIGNED OWNERS OF THAT REAL PROPERTY SITUATED IN THE CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE FULLY DESCRIBED AS FOLLOWS:

A PORTION OF LOTS 2, 3 AND 4 AND ALL OF LOTS 5-8, BLOCK 28, BASED UPON THE APPROVED MAP OF "CITY OF BLACK HAWK - SURVEY MAP OF SAID BLOCK, OF THE "MAP OF BLACK HAWK, SURVEYED BY ALBERT JOHNSON, CITY SURVEYOR" DATED MAY AND JUNE 1866", LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO.

THAT HAS CAUSED SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS CITY OF BLACK HAWK, BLOCK 28 AMENDMENT NO. 1.

IN WITNESS WHEREOF, DAVID D. SPELLMAN, AS MAYOR AND MELISSA A. GREINER, CMC, CITY CLERK HAVE CAUSED THEIR NAMES TO BE HEREUNTO SUBSCRIBED THIS ____ DAY OF _____, 2020.

CITY OF BLACK HAWK

BY: DAVID D. SPELLMAN, MAYOR ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

NOTARY PUBLIC:

STATE OF COLORADO }
COUNTY OF GILPIN } SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2020 BY DAVID D. SPELLMAN AS MAYOR AND MELISSA A. GREINER, CMC, CITY CLERK OF THE CITY OF BLACK HAWK.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BLACK HAWK URBAN RENEWAL AUTHORITY

BY: DAVID D. SPELLMAN, CHAIRMAN ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

NOTARY PUBLIC:

STATE OF COLORADO }
COUNTY OF GILPIN } SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2020 BY DAVID D. SPELLMAN AS CHAIRMAN AND MELISSA A. GREINER, CMC, AS _____ OF THE BLACK HAWK URBAN RENEWAL AUTHORITY.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MAYOR'S CERTIFICATE:

THE FOREGOING AMENDMENT IS APPROVED FOR FILING AND ACCEPTED BY THE BOARD OF ALDERMEN OF THE CITY OF BLACK HAWK, COLORADO, THIS ____ DAY OF _____, A.D., 2020

DAVID D. SPELLMAN, MAYOR ATTEST: MELISSA A. GREINER, CMC, CITY CLERK

CLERK AND RECORDER'S CERTIFICATE:

ACCEPTING FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF GILPIN COUNTY AT CENTRAL CITY, COLORADO, THIS ____ DAY OF _____, 2020.

COUNTY CLERK AND RECORDER BY: DEPUTY CLERK

SURVEYOR'S STATEMENT:

I, AARON ALVIN DEMO, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS SURVEY PLAT OF CITY OF BLACK HAWK, BLOCK 28, AMENDMENT NO. 1, WAS PREPARED FROM AN ACTUAL SURVEY UNDER MY PERSONAL SUPERVISION, AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION THEREOF, THAT THE MONUMENTATION AS INDICATED HEREON WAS FOUND OR SET AS SHOWN, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

AARON ALVIN DEMO, PLS
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 38285
FOR AND ON BEHALF OF BASELINE CORPORATION

PRELIMINARY
FOR REVIEW

CLERK AND RECORDER:



DESIGNED BY	DATE	PREPARED BY	REVISION DESCRIPTION
DRAWN BY			
DKL			
CHECKED BY			
AAD			

CITY OF BLACK HAWK	COUNTY OF GILPIN
CITY OF BLACK HAWK	BLOCK 28, AMENDMENT NO. 1

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	10/21/2019
DRAWING SIZE	24" X 36"
SURVEY FIRM	BASELINE CORP.
SURVEY DATE	12/23/2019
JOB NO.	S-19-03
DRAWING NAME	BLK-28 ADJUSTMENT NO. 1
SHEET	1 OF 1

RESOLUTION 27-2020
A RESOLUTION
APPROVING A
CERTIFICATE OF
ARCHITECTURAL
COMPATIBILITY FOR
THE BUILDING LOCATED
AT 221 GREGORY STREET
(CONTINUED FROM
MARCH 25, 2020)

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 27-2020

**TITLE: A RESOLUTION APPROVING A CERTIFICATE OF ARCHITECTURAL
COMPATIBILITY FOR THE BUILDING LOCATED AT 221 GREGORY
STREET**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby determines to approve the Certificate of
Architectural Compatibility for the building located at 221 Gregory Street, subject to the following
conditions:

- A. All proposed renovations shall match the plans submitted; and
- B. All applicable building and electrical permits must be obtained prior to beginning
construction.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Black Hawk Board of Aldermen shall hold a public hearing concerning a request for a Certificate of Architectural Compatibility for the renovation of a building on property described in Exhibit A and generally located at 211 – 221 Gregory Street, pursuant to the City of Black Hawk zoning ordinance.

The public hearing is to be held before the City of Black Hawk Board of Aldermen on Wednesday, March 25, 2020, at 3:00 p.m. or as soon as possible thereafter. The public hearing shall be held in the City of Black Hawk Council Chambers, located at 211 Church Street, Black Hawk, CO 80422, or at such other time of place in the event this hearing is adjourned.

ALL INTERESTED PARTIES MAY ATTEND

Melissa A. Greiner, CMC
City Clerk

EXHIBIT A

That portion of Lots, 2, 3 and 4, Block 28, that lies Northeast of the Boundary Line Resolution approving a Boundary Line Agreement recorded March 17, 2015, Reception No. 153289, City of Black Hawk, County of Gilpin, State of Colorado.

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: To consider a Resolution approving a Certificate of Architectural Compatibility for the rehabilitation of the building located at 221 Gregory Street.

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 27-2020, a Resolution approving a Certificate of Architectural Compatibility for the rehabilitation of the building located at 221 Gregory Street with the following conditions:

1. The proposed rehabilitation shall match the plans submitted; and
2. All applicable building, conveyance, electrical, and public works permits must be obtained prior to beginning construction.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The City of Black Hawk has received an application from Black Hawk Urban Renewal Authority through Cynthia Linker, Community Planning & Development requesting approval of a Certificate of Architectural Compatibility for the rehabilitation of the building located at 221 Gregory Street. The proposed rehabilitation will convert the existing vacant building into 4 retail spaces and will re-establish the small-scale retail storefronts. Refer to the Staff Report included with this Request for Council Action.

AGENDA DATE:

March 25, 2020
Rescheduled for May 13, 2020

WORKSHOP DATE:

N/A

FUNDING SOURCE:

N/A

DEPARTMENT DIRECTOR APPROVAL:

☒ Yes ☐ No

STAFF PERSON RESPONSIBLE:

Cynthia L. Linker
CP&D Director

DOCUMENTS ATTACHED:

Resolution 27-2020
Public Hearing Notice
Staff Report
Combined Application



RECORD:

☐ Yes ☒ No

CITY ATTORNEY REVIEW:

☐ Yes ☒ N/A

SUBMITTED BY:

Cynthia L. Linker

Cynthia L. Linker, CP&D Director

REVIEWED BY:

Stephen N. Cole

Stephen N. Cole, City Manager

Vincent Harris

Vincent Harris, AICP, Baseline Corporation



BLACK HAWK



Staff Report

**CITY OF BLACK HAWK
PLANNING / LAND USE**

Date prepared: March 12, 2020
Meeting Date: March 25, 2020
Rescheduled for May 13, 2020

STAFF REPORT: Certificate of Architectural Compatibility: 221 Gregory Street Renovation
For: City Council
Project: P-19-33 221 Gregory Street Renovation COAC
Property Address: 211-221 Gregory Street, Black Hawk, CO 80422
Applicants: Cynthia Linker, City of Black Hawk
Zoning: History Appreciation Recreation Destination (HARD)
Prepared by: Julie Esterl - Baseline Corporation
Approved by: Vincent Harris, AICP - Baseline Corporation
Reviewed by: Cynthia Linker, CP&D Director



BACKGROUND:

On January 29, 2020 the City of Black Hawk submitted an application request for a Certificate of Architectural Compatibility (COAC) for the rehabilitation of buildings located at 211-221 Gregory Street herein referred to only as 221 Gregory Street. The City, in conjunction with the property owner, Black Hawk Urban Renewal Authority, wishes to perform adaptive reuse and renovation of the existing two-story building. Historically there were three separate buildings and three separate owners. The three buildings were renovated with additions in 1992 and became two casinos – the Eureka and the Lucky Star. The buildings were renovated again in 1997 to become one casino – the Eureka. The building is now vacant. The City and property owner have plans to convert the building into four retail spaces with a shared common area including restrooms and an elevator.

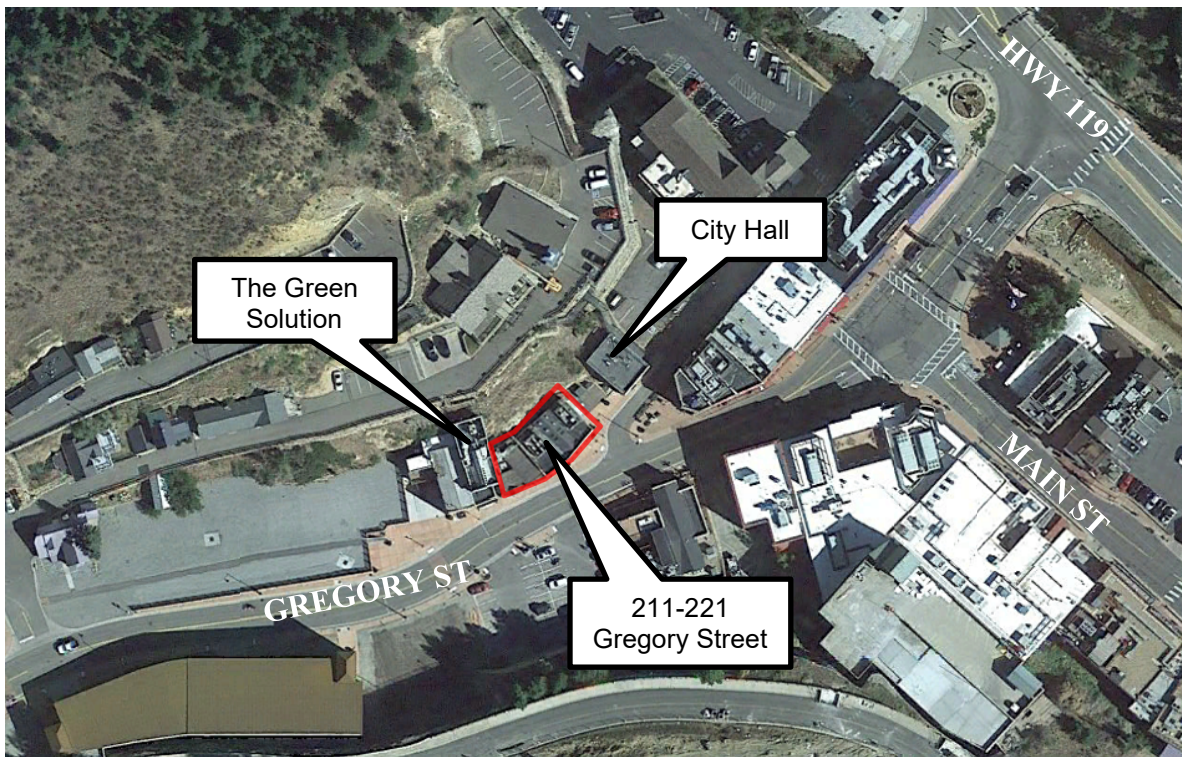


Figure 1: Location Map

ZONING:

The property is zoned History Appreciation Recreation Destination (HARD) which allows retail facilities within public pedestrian malls. The property is being developed in conjunction with the Gregory Street pedestrian mall.

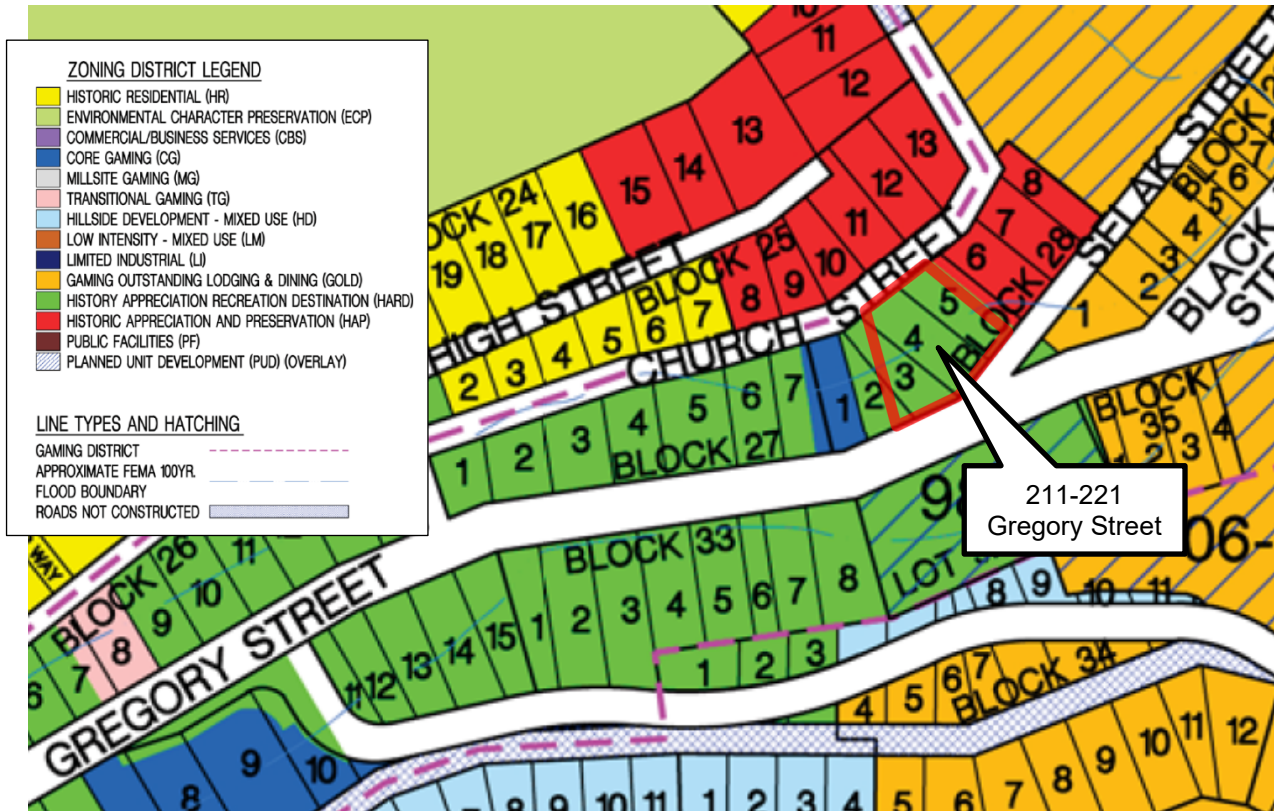


Figure 2: Zoning Map

REQUEST:

The request to renovate the building includes demolition of and structural stabilization of the rear of the building. All exterior finishes will be replaced including wood siding, trim and decorative cornices/details, aluminum clad windows, wood doors and new roofing. The wood frame will be repaired, reinforced and spray foam insulation will be provided throughout. The existing rear walkway and stairs will be replaced with low maintenance steel construction. Interior improvements include period-style wood trim, replacement of wall, ceiling and floor finishes, and the replacement of fire sprinkler system, HVAC, plumbing and electrical throughout.

The adaptive reuse of the existing building will re-establish the small-scale level retail shop storefronts, and the proposed color palette consists of a variety of historic colors from Sherwin Williams. These colors are consistent with the City approved Benjamin Moore Historical Colors.

Four retail spaces will be created with the renovations. Two will be on the ground floor and two will be on the second floor. All spaces will use the 221 Gregory Street address along with a suite number, letter or name.



Figure 3: 221 Gregory Street – 1998

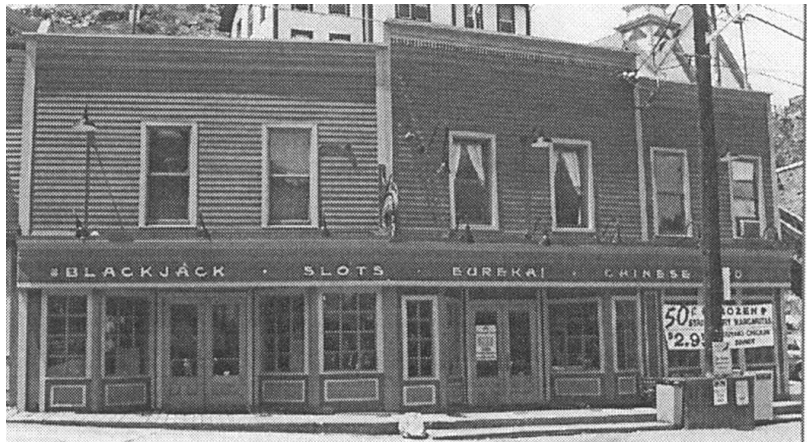


Figure 4: 211 Gregory St - 1998



Figure 5: 211-221 Gregory Street – Google Street View 2019



Figure 6: Existing South Elevation



Figure 7: Proposed South Elevation

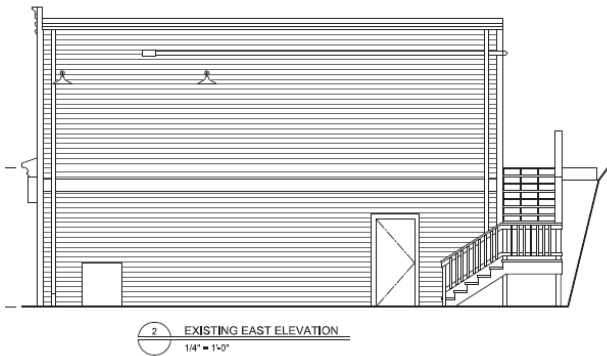


Figure 8: Existing East Elevation



Figure 9: Proposed East Elevation

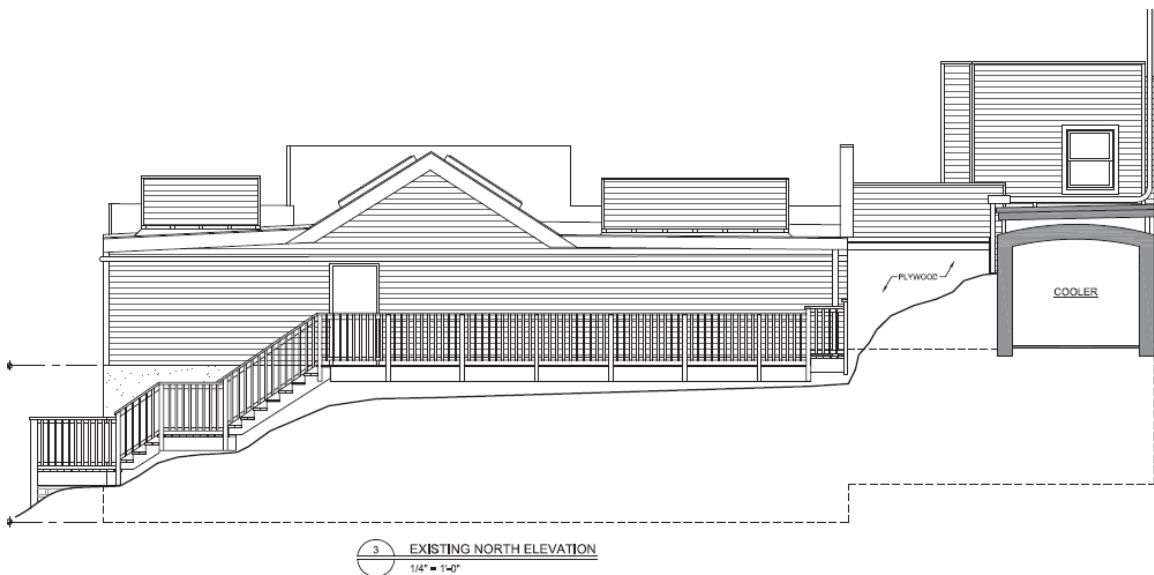


Figure 10: Existing North Elevation

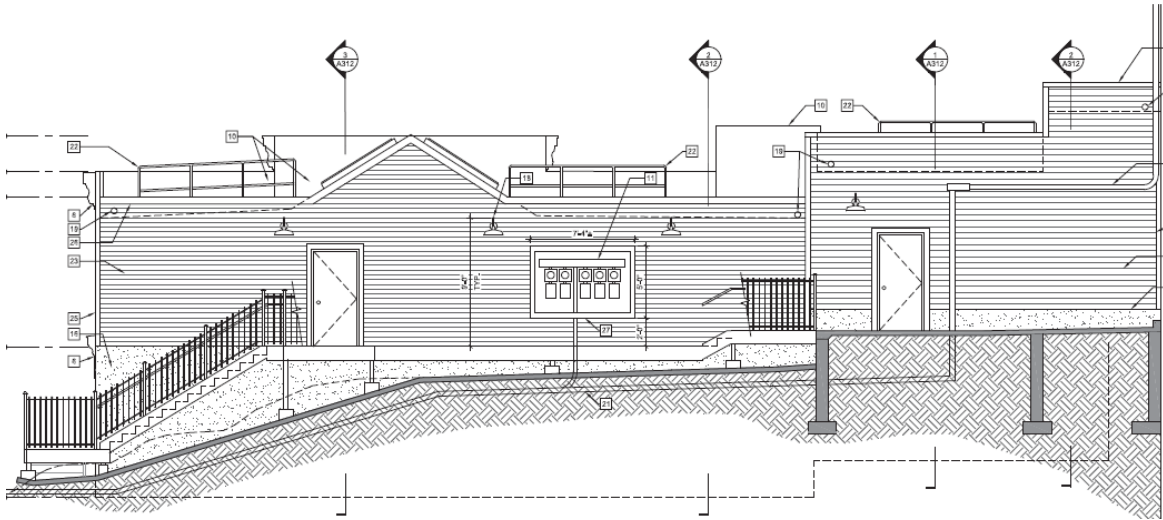


Figure 11: Proposed North Elevation

EXTERIOR FINISH CHART					
COLOR		CSI#	TYPE	MANUFACTURER	FINISH
		04 20 00	MORTAR	—	MATCH EXISTING
		04 20 00	BRICK MASONRY	—	EXISTING TO REMAIN
		07 53 23	EPDM ROOF	FIRESTONE	60 MIL BLACK
ROGERS		08 52 30	ROGERS WINDOWS	MARVIN	CASHMERE
		07 61 13	STANDING SEAM METAL ROOFING	RHEINZINK	ZINC (NATURAL)
		09 91 13	ROGERS BODY	SHERWIN WILLIAMS	SW6347 CHRYSANTHEUM
		09 91 13	ROGERS TRIM	SHERWIN WILLIAMS	SW6380 HUMBLE GOLD
		09 91 13	ROGERS ACCENT	SHERWIN WILLIAMS	SW6314 LUXURIOUS RED
RUDOLPH		08 52 30	RUDOLPH WINDOWS	MARVIN	COCONUT CREAM
		09 91 13	RUDOLPH BODY	SHERWIN WILLIAMS	SW9018 HONEY BEES
		09 91 13	RUDOLPH TRIM	SHERWIN WILLIAMS	SW6244 NAVAL
		09 91 13	RUDOLPH ACCENT	SHERWIN WILLIAMS	SW9180 AGED WHITE
OYLER		08 50 30	OYLER WINDOWS	MARVIN	COCONUT CREAM
		09 91 13	OYLER BODY	SHERWIN WILLIAMS	SW6963 SAPPHIRE
		09 91 13	OYLER TRIM	SHERWIN WILLIAMS	SW9180 AGED WHITE
		09 91 13	OYLER ACCENT	SHERWIN WILLIAMS	SW2839 ROYCROFT COPPER RED

Figure 12: Proposed Exterior Finishes

Applicable City of Black Hawk Regulations

Excerpts from:

City of Black Hawk Zoning Code Chapter 16 – Zoning

Section 16-368. (a) (3) *Any person seeking to modify the exterior of, add to, or construct a new building shall be subject to the following procedures. Any such renovation, construction or demolition shall be subject to the City's design standards.*

Section 16-368. (a) (5) *The City shall not issue a building permit or site development plan for any of the following activities until a Certificate of Architectural Compatibility ("COAC") has been issued for the project.*

- a. Construction of a new building, structure or improvement;*
- b. Alteration or reconstruction of, or addition to, the exterior of any improvement;*
- c. Demolition of any improvement;*
- d. Construction or erection of or addition to any improvement upon any land located within the City; or*
- e. Excavations requiring an excavation permit.*

Section 16-368. (e) (3) *Except for applications seeking a COAC for demolition of a structure, which review is controlled by the criteria in subsection (4) below, in considering the issuance of a COAC, the City shall consider the following:*

- a. All plans, drawings and photographs as may be submitted by the applicant;*
Staff Comment: The applicant has submitted plans that are included with this Staff Report. See the applicant's submittal attached with this staff report for reference.
- b. If a public hearing is required, any information presented at a public hearing held concerning the proposed work;*
Staff Comment: A representative of the City of Black Hawk staff will provide additional information at the City Council meeting if needed.
- c. The purpose of this Chapter;*
Staff Comment: The purpose of this chapter is to ensure that the renovations meet the zoning requirements of the City of Black Hawk. The property is zoned History Appreciation Recreation Destination (HARD). The proposed retail uses are permitted within the HARD district.

- d. *Compliance with this Code and the payment of all fees required by this Code;*

Staff Comment: The applicants have and will continue to pay all necessary fees required by the ordinances of the City.

- e. *The effects of the proposed work upon the protection, enhancement, perpetuation and use of the City which cause it to possess a special character or special historical or aesthetic interest or value; and*

Staff Comment: The architecture of the building fits in with the historic character of the City. The proposed renovations will not affect the historic or aesthetic interest of the site or the district. All proposed colors are consistent with the approved historic color palette for the City of Black Hawk.

- f. *Compliance with the City's residential or commercial design standards, as appropriate, including, but not limited to, reference to the historical and architectural style, the general design, arrangement, texture, materials and color of the development, building or structure in question or its appurtenance fixtures; the relationship of such features to similar features of the other buildings within the City the position of the building, structure, park or open space in relation to public rights-of-way and to other buildings and structures in the City.*

Staff Comment: The 2010 Black Hawk Cultural Resource Survey considers this building as “non-contributing” to the national historic district, and therefore has been reviewed against the Commercial Design Guidelines for non-historic buildings. Per the Commercial Design Guidelines, alterations to non-historic buildings should be made by using “*existing historical architecture details found on other buildings in the City*” and by “*using simplified details and historical materials and colors in a contemporary way.*”

PEH Architects prepared the proposed renovations depicted above and included with this staff report. Staff views that these plans submitted by the applicant are consistent with the Commercial Design Guidelines for non-historic buildings.

STAFF SUMMARY:

Staff from Baseline Corporation has evaluated the information provided by the City of Black Hawk staff for this project. The City of Black Hawk Municipal Code allows for exterior renovations of non-residential buildings with the approval of a Certificate of Architectural Compatibility. Staff from Baseline Corporation recommends that a Certificate of Architectural Compatibility be granted. The proposed renovations are acceptable and consistent with the Design Guidelines for commercial uses within the City adopted by the City of Black Hawk.

In summary, Staff recommends that a Certificate of Architectural Compatibility for renovations to the building located at 221 Gregory Street be granted, subject to the following conditions:

1. All proposed renovations shall match the plans submitted; and
2. All applicable building and electrical permits must be obtained prior to beginning construction.

FINDINGS:

City Council may *approve, conditionally approve, or deny* a Certificate of Architectural Compatibility. To support this proposal, the following findings can be used:

The proposed renovations at 221 Gregory Street meet the intent of the criteria outlined in Section 16-368 of the Municipal Code and those found in Black Hawk's Design Guidelines as noted and evaluated in the staff report presented to City Council.

RECOMMENDATION:

Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution No. 27-2020, a Resolution approving a Certificate of Architectural Compatibility for renovations to the building located at 221 Gregory Street with the following conditions:

1. All proposed renovations shall match the plans submitted; and
2. All applicable building and electrical permits must be obtained prior to beginning construction.

ATTACHMENTS:

1. Land Development Application Form
2. Project Plans

Applicant's Submittal



LAND USE APPLICATION FORM

City of Black Hawk
Community Planning and Development

211 Church Street, P.O. Box 68
Black Hawk, CO 80422

Phone: 303-582-0615
Fax: 303-582-2239

www.cityofblackhawk.org

DATE: _____

APPLICANT NAME: _____

APPLICANT ADDRESS: _____

APPLICANT MAILING ADDRESS: _____

APPLICANT CONTACT NUMBER: _____ EMAIL ADDRESS: _____

PROPERTY OWNER NAME: _____

PROPERTY OWNER ADDRESS: _____

PROPERTY OWNER MAILING ADDRESS: _____

PROPERTY OWNER CONTACT NUMBER: _____ EMAIL ADDRESS: _____

PROJECT NAME: _____

PROJECT ADDRESS: _____

PROJECT DESCRIPTION: _____

IS PROPERTY WITHIN CITY LIMITS: YES ☐ NO ☐

PRESENT ZONING: _____ CURRENT USE: _____

NAME OF EXISTING PLANNED UNIT DEVELOPMENT (IF APPLICABLE): _____

NAME OF EXISTING SUBDIVISION PLAT (IF APPLICABLE): _____

GILPIN COUNTY ASSESSOR'S I.D. NO.(S): _____ EXISTING PROPERTY SIZE: _____ ACRES/SQ.FEET

(PLEASE ATTACH A COPY OF SURVEY/PLAT.)

EXISTING BUILDING SIZE: _____ SQ. FT. AND/OR NUMBER OF EXISTING RESIDENTIAL UNITS: _____

APPLICANT HAS READ AND ACKNOWLEDGES THE FOLLOWING:

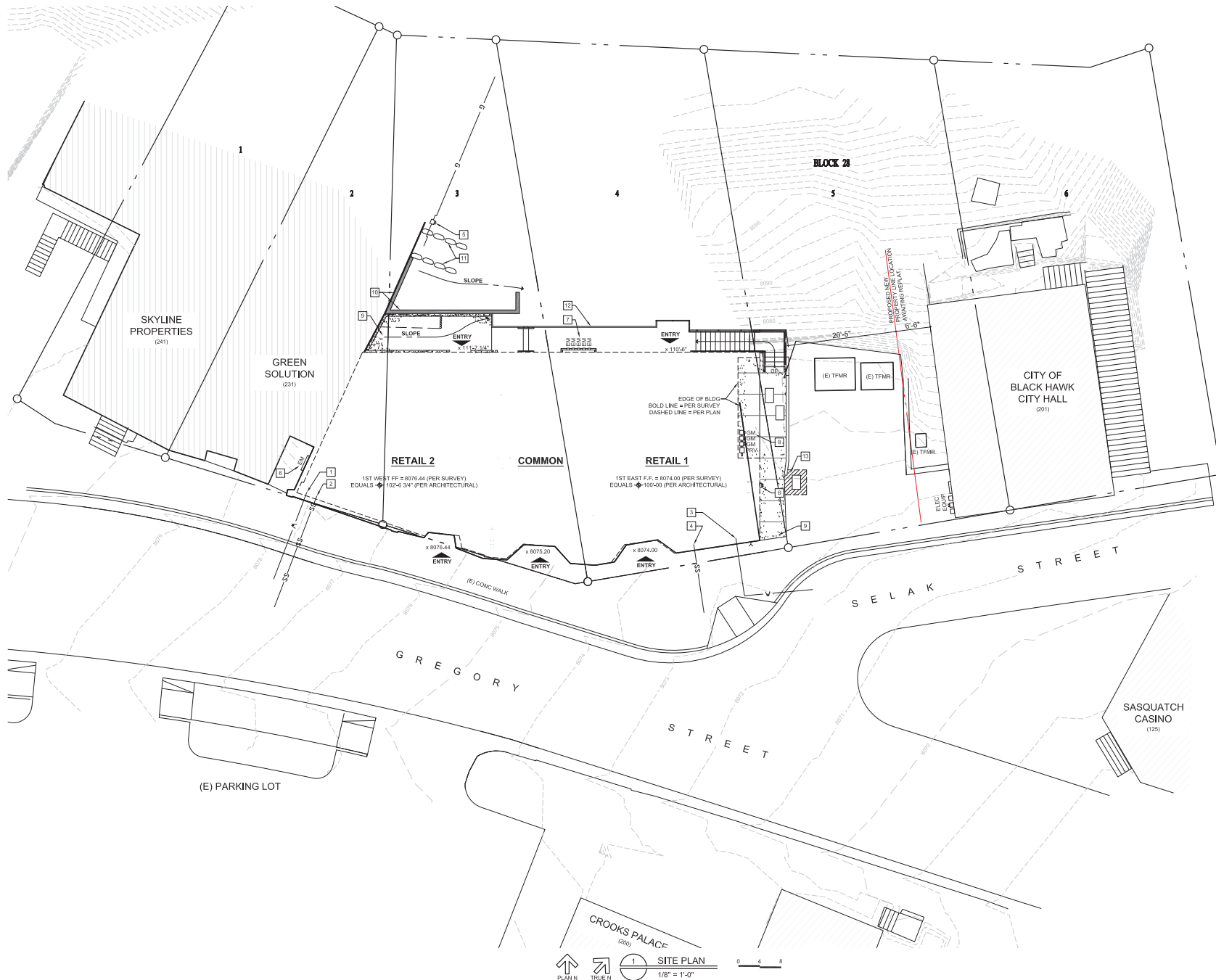
For informational purposes, the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code establishes the requirement for applicants to pay fees to cover the costs the City may incur by having City approved consultants evaluate and process applications.

APPLICANT AGREES TO THE FOLLOWING CERTIFICATION STATEMENT AND AFFIDAVIT:

I, as the applicant, hereby certify that I believe to the best of my knowledge that all information supplied with this application is true and accurate and that consent of the property owner listed above, without which the requested action cannot lawfully be accomplished, has been granted. Permission is also hereby granted to the City of Black Hawk staff and their consultants to physically enter upon and inspect the subject property and take photographs as necessary for preparation of the case. In addition, I have read and understand the Black Hawk Adopted Fee Schedule and Section 16-370 of the Black Hawk Municipal Code, and by signing this application I am agreeing that I am authorized to sign on behalf of the property owner, or business-owner, or applicant and commit and agree to the payment of any and all fees associated with processing this application and further agree to pay City of Black Hawk invoices associated with the processing of this application.

The application must be submitted in person to the Community Planning and Development office. A complete submittal of one (1) hard copy set and one (1) electronic copy in PDF format on flash drive, as well as the receipt of application fee payment, must accompany the application. Application fees may be paid online at: <http://www.cityofblackhawk.org/city-departments/community-planning-development/>

SIGNATURE OF APPLICANT: _____ DATE: _____



EXISTING FLOOR PLAN - GENERAL NOTES:

- EXISTING BUILDING DRAWINGS WERE CREATED FROM THE "EUREKA" DRAWING SET, DATED 8-2-07, CREATED BY FULGENZI ARCHITECTS. EXISTING SITE INFORMATION WAS BASED ON SURVEY INFORMATION PROVIDED 8-14-09 FROM THE CITY OF BLACKHAWK. GC IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS, AND INFORMING THE ARCHITECT OF ANY DEVIATIONS FROM THE PROVIDED DRAWING INFORMATION.

SITE PLAN - GENERAL NOTES:

- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- REFER TO CIVIL SITE PLAN FOR ADDITIONAL INFORMATION.
- RESTORE ALL DISTURBED GRADING, PROVIDE EROSION CONTROL MATS, SEED WITH LOW WATER DEMAND NATIVE GRASS MIX. RE: CIVIL.
- CONTOUR LINES ARE REPRESENTATIVE OF (E) CONDITIONS. (N) CONTOURS ARE PROVIDED ON CIVIL DRAWINGS.
- GENERAL SLOPE OF SITE PLAN SHOWN FOR REFERENCE. RE: CIVIL DRAWINGS FOR SITE IMPROVEMENTS BEYOND FOOTING OF THE BUILDING.
- COORDINATE TOP, BOTTOM, AND FLOW LINE ELEVATIONS OF CONCRETE WALKS AND SWALES WITH CIVIL ENGINEER AND DRAWINGS.

SITE PLAN - KEYNOTES:

- CAP (E) 4" PVC WATER SERVICE IN CRAWL SPACE.
- CAP (E) 4" PVC WATER SERVICE IN CRAWL SPACE. BE AWARE THAT THIS PIPE ALSO SERVES 231 GREGORY AND WILL REMAIN ACTIVE. 231 GREGORY TIES INTO THIS SERVICE LATERAL W/IN INCHES OF THE EXTERIOR FACE OF THE 221 GREGORY FOUNDATION WALL.
- (E) 4" DP WATER SERVICE TO PROVIDE DOMESTIC WATER AND FIRE PROTECTION.
- (E) 6" PVC SANITARY SEWER SERVICE TO REMAIN.
- DEMO (E) GAS SERVICE AND METER, COORD. W/ XCEL ON CAPPING REQUIREMENTS.
- DEMO ELEC. METER, EQUIPMENT AND ASSOCIATED CONDUITS BACK TO SOURCE, OR CAP AT BELOW NEAREST SURFACE TO MAINTAIN FULL CONCEALMENT. RE: ELEC.
- UTILIZE (E) UNDERGROUND CONDUIT. INSTALL 5 (N) ELEC. METERS.
- EXTEND (E) GAS SERVICE (BELOW GRADE RE: A204). INSTALL 5 GAS METERS.
- (N) 4" THICK CONC. WALKWAYS/SWALE OVER 4" COMPACTED GRAVEL BASE RES'VL.
- (N) CONC. RETAINING WALL RE-STRUCT.
- (E) STONE RET. WALL.
- (N) METAL WALKWAY AND STAIR RE:A204
- ROUGH IN (N) PULL BOX AND 1" CONDUIT TO HOUSE PANEL. PATCH ASPHALT IN WORK AREA.


LEGAL DESCRIPTION:

211 GREGORY
THE EAST 19 FEET OF LOT 3, AND
THE WEST 20 FEET OF LOT 4, AND
THE EAST 19 FEET OF LOT 4, AND
THE WEST 31 FEET OF LOT 5,
BLOCK 28, CITY OF BLACK HAWK
COUNTY OF GLENN, STATE OF COLORADO

221 GREGORY
THE EAST 17 FEET OF LOT 2, AND
THE WEST 21 FEET OF LOT 3,
BLOCK 28, CITY OF BLACK HAWK

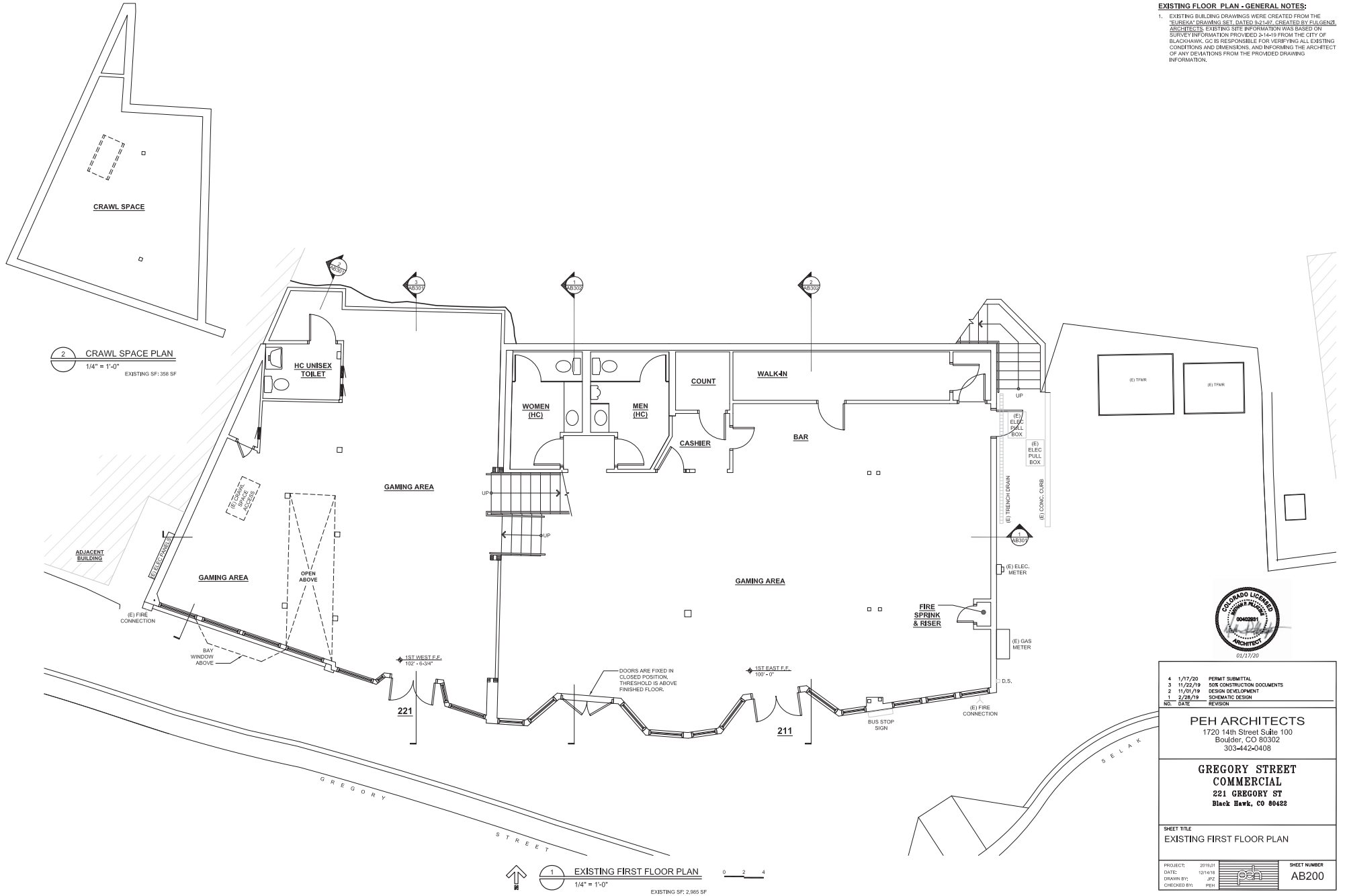
NOTE:
NEW BOUNDARY LINES FOR THE PROPERTY ARE IN DEVELOPMENT.
PROPOSED BOUNDARIES:
NORTH - ALIGN W/ R.O.W. AT CHURCH ST.
EAST - 6'-6" PARALLEL OFFSET W/ WEST FACE OF CITY HALL BLDG.
SOUTH - ALIGN W/ R.O.W. AT GREGORY ST.
WEST - ALIGN W/ PARTY WALL.




4	1/17/20	PERMIT SUBMITTAL	
3	11/22/19	SOS CONSTRUCTION DOCUMENTS	
2	11/02/19	DESIGN DEVELOPMENT	
1	2/28/19	SCHEMATIC DESIGN	
NO.	DATE	REVISION	
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408			
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422			
SHEET TITLE SITE PLAN			
PROJECT:	2019.01		SHEET NUMBER A100
DATE:	12/14/18		
DRAWN BY:	LCH		
CHECKED BY:	PEH		

EXISTING FLOOR PLAN - GENERAL NOTES:

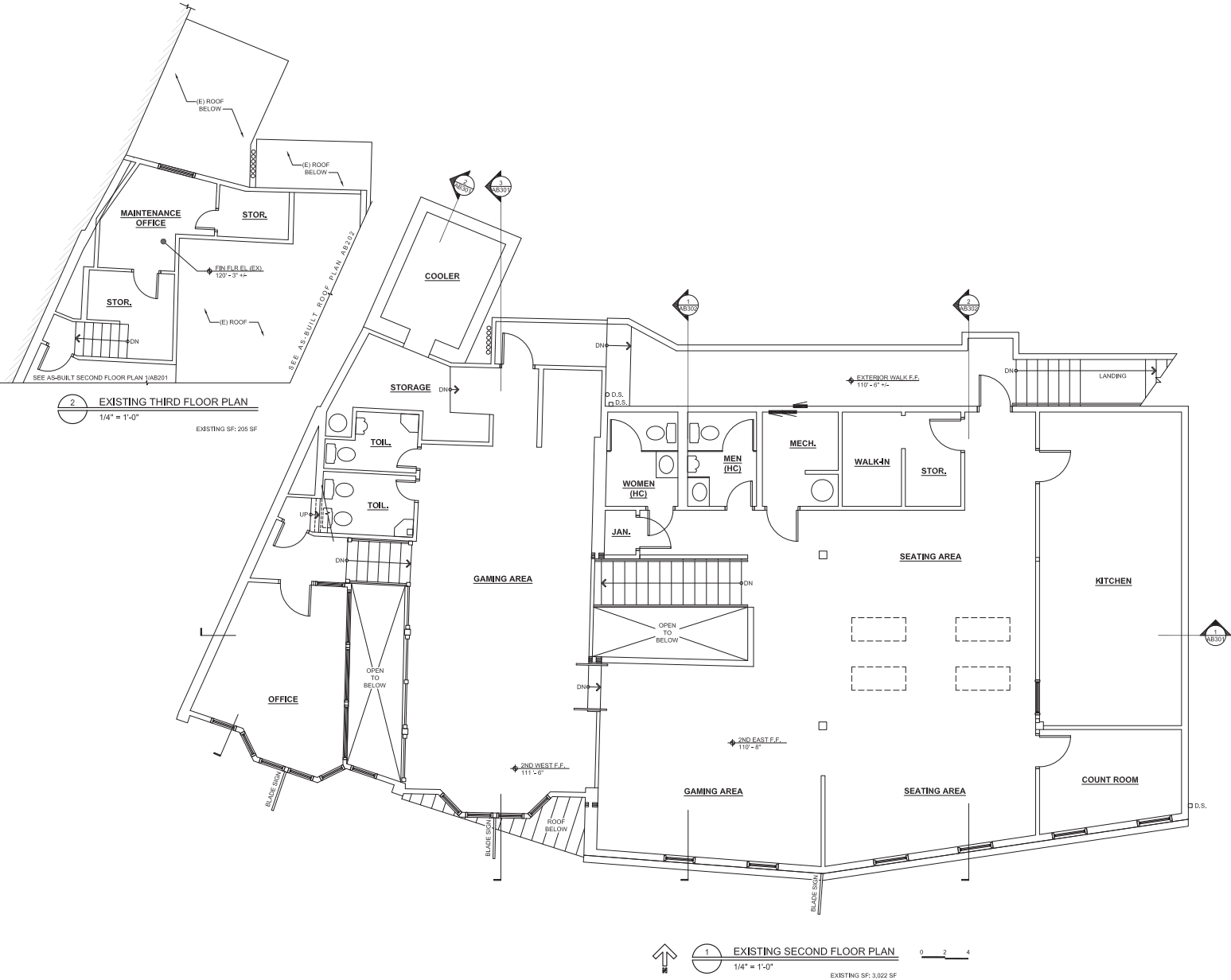
1. EXISTING BUILDING DRAWINGS WERE CREATED FROM THE "EUREKA" DRAWING SET, DATED 8-2-87, CREATED BY EUGENZI ARCHITECTS. EXISTING SITE INFORMATION WAS BASED ON SURVEY INFORMATION PROVIDED 8-4-89 FROM THE CITY OF BLACKHAWK. GC IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS, AND INFORMING THE ARCHITECT OF ANY DEVIATIONS FROM THE PROVIDED DRAWING INFORMATION.



4	1/17/20	PERMIT SUBMITTAL	
3	11/22/19	SOS CONSTRUCTION DOCUMENTS	
2	11/09/19	DESIGN DEVELOPMENT	
1	2/28/19	SCHEMATIC DESIGN	
NO.	DATE	REVISION	
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408			
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422			
SHEET TITLE EXISTING FIRST FLOOR PLAN			
PROJECT:	2019.01		SHEET NUMBER AB200
DATE:	12/14/18		
DRAWN BY:	JPC		
CHECKED BY:	REH		

EXISTING FLOOR PLAN - GENERAL NOTES:

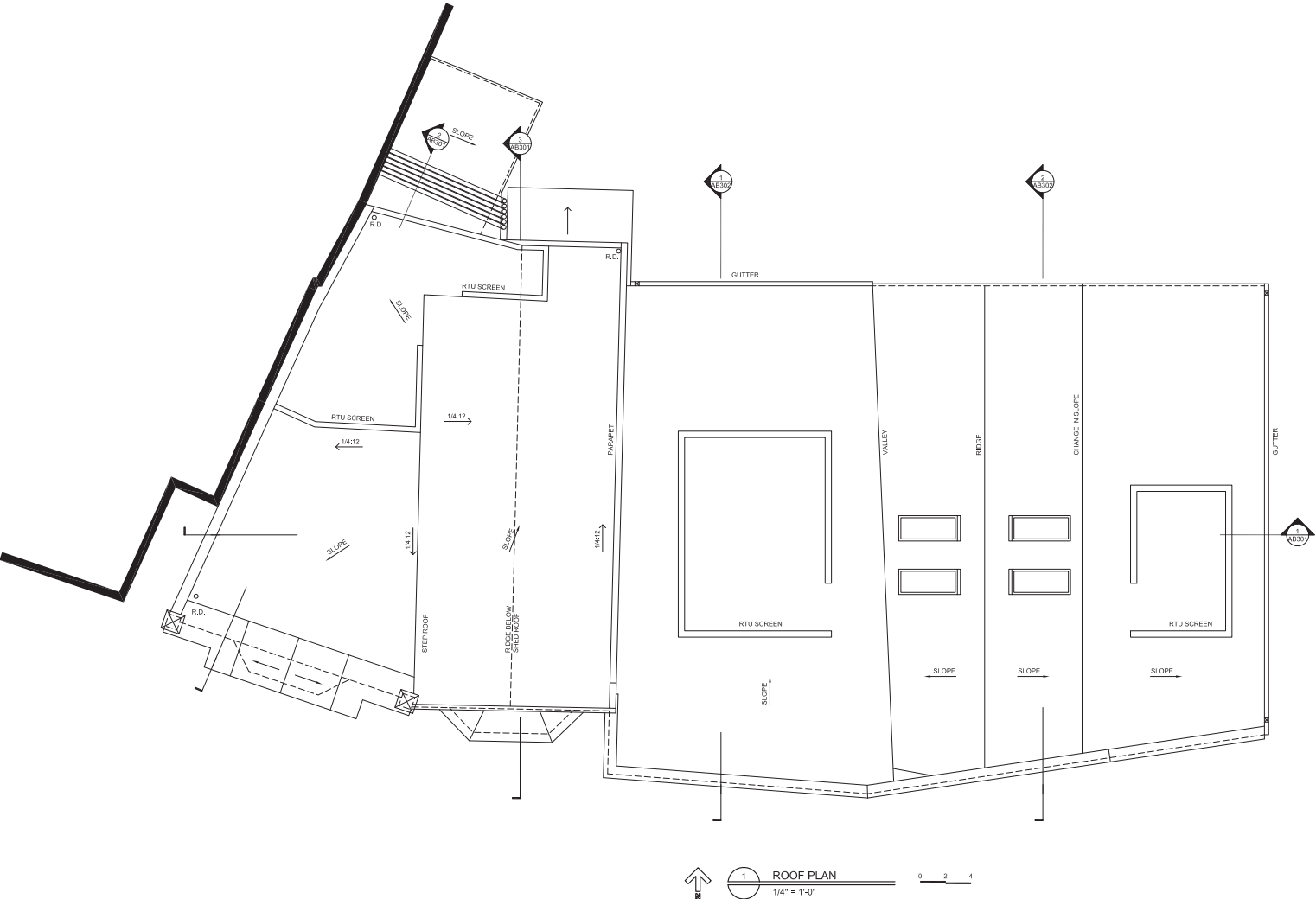
1. EXISTING BUILDING DRAWINGS WERE CREATED FROM THE "EUREKA" DRAWING SET, DATED 8-2-87, CREATED BY EUGENZI ARCHITECTS. EXISTING SITE INFORMATION WAS BASED ON SURVEY INFORMATION PROVIDED 2-16-19 FROM THE CITY OF BLACKHAWK. GC IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS, AND INFORMING THE ARCHITECT OF ANY DEVIATIONS FROM THE PROVIDED DRAWING INFORMATION.




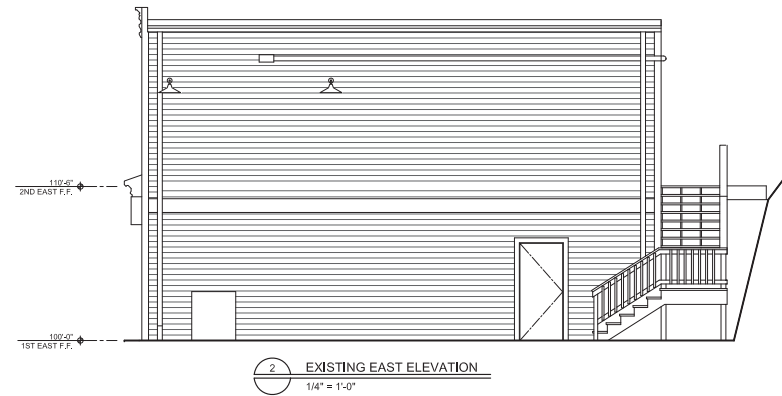
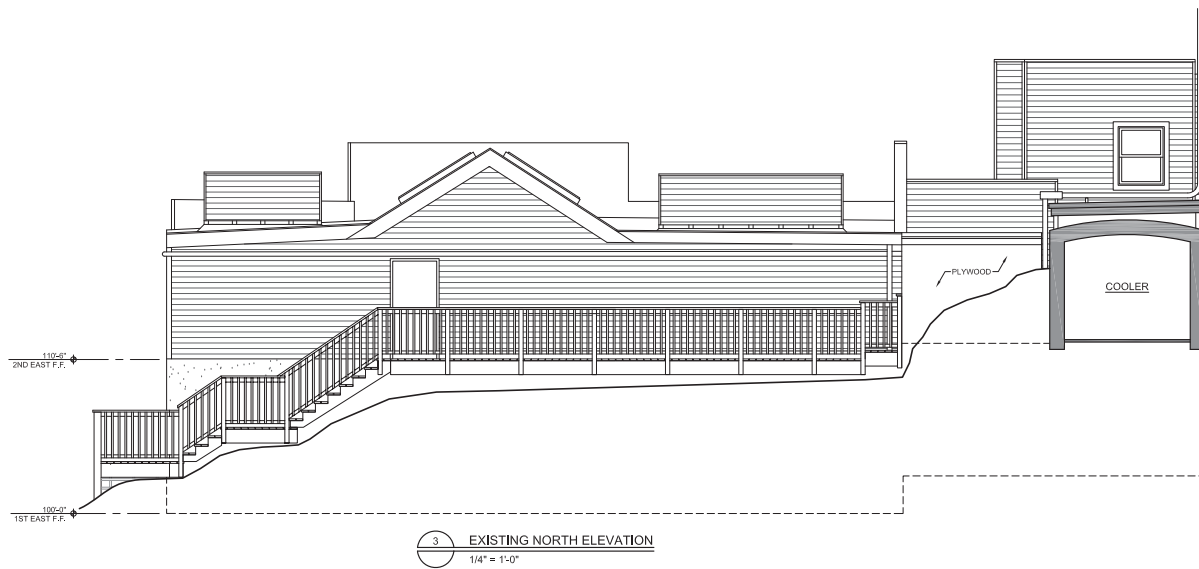
4	1/17/20	PERMIT SUBMITTAL
3	11/22/19	SOS CONSTRUCTION DOCUMENTS
2	11/02/19	DESIGN DEVELOPMENT
1	2/28/19	SCHEMATIC DESIGN
NO.	DATE	REVISION
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408		
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422		
SHEET TITLE EXISTING SECOND FLOOR PLAN		
PROJECT:	2019/01	
DATE:	12/14/18	
DRAWN BY:	JPC	
CHECKED BY:	REH	SHEET NUMBER AB201


EXISTING FLOOR PLAN - GENERAL NOTES:

1. EXISTING BUILDING DRAWINGS WERE CREATED FROM THE "EUREKA" DRAWING SET, DATED 8-2-1977, CREATED BY EUGENIO ARCHITECTS. EXISTING SITE INFORMATION WAS BASED ON SURVEY INFORMATION PROVIDED 2-16-19 FROM THE CITY OF BLACKHAWK. GC IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS, AND INFORMING THE ARCHITECT OF ANY DEVIATIONS FROM THE PROVIDED DRAWING INFORMATION.



4	1/17/20	PERMIT SUBMITTAL	
3	11/22/19	SOS CONSTRUCTION DOCUMENTS	
2	11/20/19	DESIGN DEVELOPMENT	
1	2/28/19	SCHEMATIC DESIGN	
NO.	DATE	REVISION	
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408			
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422			
SHEET TITLE EXISTING ROOF PLAN			
PROJECT:	2019.01		SHEET NUMBER AB202
DATE:	10/14/18		
DRAWN BY:	LCH		
CHECKED BY:	PEH		



4	1/17/20	PERMIT SUBMITTAL	
3	11/22/19	SOS CONSTRUCTION DOCUMENTS	
2	11/02/19	DESIGN DEVELOPMENT	
1	2/28/19	SCHEMATIC DESIGN	
NO.	DATE	REVISION	
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408			
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422			
SHEET TITLE EXISTING ELEVATIONS			
PROJECT:	2019.01		SHEET NUMBER AB300
DATE:	10/14/18		
DRAWN BY:	JPC		
CHECKED BY:	PEH		

ELEVATOR SHAFT IS DESIGNED FOR SCHINDLER 3100 MRL - 2100LBS.		
SHAFT	WIDTH	DEPTH
CAB	7'-6"	6'-0"
YES	ANSI 117.1 ACCESSIBLE (SIDE ENTRY ONLY)	
NO	AMBULANCE STRETCHER	
ALT. TRACTION MACHINE ROOM LESS ELEVATORS WILL BE CONSIDERED.		

- WALL LEGEND**
- W3.0 = SEE "BUILDING SYSTEM NOTES" ON A400 FOR DETAILED WALL ASSEMBLIES
 - (E) = (E) FRAME WALL
 - W3.1 = (N) 2x4 FRAME WALL SEE W7.0 ON A400
 - W3.2 = (N) 2x6 FRAME WALL SEE W7.0 ON A400
 - W3.3 = (N) CONC. FNDRET. WALL W/ 2x4 FRAME WALL
- FINISH NOTES:**
- ALL INTERIOR FINISHES ARE TO BE CLASS A FINISHES WITH FLAME SPREAD OF 0-25, SMOKE DEVELOPED 0-450, AND SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE CHAPTER 8 REQUIREMENTS.
- FLOOR PLAN - GENERAL NOTES:**
- FINISHED FLOOR 100'-0" ± 8974.16 USGS
 - ALL SHARED WALLS ARE NEW. SEE SYSTEM NOTES ON SHEET A400 FOR CONSTRUCTION.
 - CONC. AND MASONRY DIMENSIONS ARE TO FACE OF CONC. OR MASONRY. WOOD STUD CONSTRUCTION IS DIMENSIONED TO FACE OF FINISHED MATERIAL, U.N.O.
 - MAIL BOXES NOT PROVIDED TENANTS TO USE P.O. BOX SYSTEM.
 - FRAMING TO EXTEND FLOOR TO STRUCTURE ABOVE.
 - NON-BEARING STUD WALL ON CON. SLAB-ON-GRADE TO BE FLOATING. RE: STRUCT. AND 4/A404
 - ALL INTERIOR FRAME WALLS TO BE FINISHED W/ 5/8" TYPE-X GYP. BD. U.N.O.
 - PROVIDE 3-1/2" SOUND BATT INSULATION AT REST ROOM WALLS AND LEASE WALLS.
 - DOORS ARE 5" FROM HINGE SIDE TO ADJACENT WALL, U.N.O.
 - PROVIDE SEALANT AT TOP AND BOTTOM OF ALL RESTROOM AND LEASE WALLS.
- FLOOR PLAN - KEYNOTES:**
- (E) CRAWL SPACE ACCESS. GC TO VERIFY MIN. OPENING OF 1'-6" x 2'-0". (E) LADDER TO REMAIN.
 - ROOF DRAIN (AND OVERFLOW DRAIN). RE: PLUMB.
 - RADON EXHAUST PIPE. FAN @ EXT. OF BLDG. RE: MECH.
 - FLUES AND DUCTS. RE: MECH.
 - NOT USED.
 - 36" HT WOOD HANDRAIL. RE: 4/A502
 - 42" HT WOOD GUARDRAIL. RE: 6/A500
 - OVERFLOW TO DAYLIGHT 24" ABOVE GRADE W/ BRASS LAMBS TOWARD. RE: PLUMB.
 - RECESSED FIRE EXTINGUISHER CABINET. TOP OF CABINET @ 4'-0" AFF. RE: 2/A404
 - NOT USED.
 - (N) 1-1/2" DIA. STEEL PIPE, EA. SIDE PAINTED BLACK. RE: 7/A101.
 - WRAP COLUMNS W/ 5/8" TYPE-X GYP. BD. PROVIDE 2x STUD FRAMING TO BOX OUT FOR ELECTRICAL & DATA WIRING & JACOBS. ALKIN STUD FRAMING W/ DROPPED BEAMS ABOVE. TYP. OF ALL INTERIOR STRUCTURAL COLUMNS.
 - STUB-IN FOR WATER WASTE & VENT. RE: PLUMB.
 - ADA PUSH BUTTON FOR WIRELESS AUTOMATIC DOOR OPENER. SURFACE MOUNT TO DOOR / WINDOW TRIM @ 36" A.F.F.
 - REMOTE FIRE CONTROL PANEL. RE: ELEC.
 - FIRE DEPT. CONNECTION.
 - DRINKING FOUNTAINS. RE: 1/A602.
 - POUR-OUT FOR GAS PIPING.
 - ELECTRICAL CONDUITS TO REMAIN. CONDUITS SERVE ADJACENT PROPERTIES AND MUST BE PROTECTED DURING CONSTRUCTION SO AS TO NOT INTERRUPT POWER TO ADJACENT BUILDINGS. RE: STRUCT FOR FRAME SUPPORT WERE ABOVE GRADE.
 - TRASH CONTAINERS. 95gal. (BY OWNER)
 - LADDER TO ROOF HATCH RE: 3/A404.
 - COORDINATE EXTENT OF EXT. RATED WALL W/ RATED WALL PLANS ON A001
 - FURR-OUT (E) CMU WALL W/ 2X2 @ 16" O.C. AND 5/8" GYP. BD.

FLOOR PLAN - GENERAL NOTES:

- FINISHED FLOOR 100'-0" ± 8974.16 USGS
- ALL SHARED WALLS ARE NEW. SEE SYSTEM NOTES ON SHEET A400 FOR CONSTRUCTION.
- CONC. AND MASONRY DIMENSIONS ARE TO FACE OF CONC. OR MASONRY. WOOD STUD CONSTRUCTION IS DIMENSIONED TO FACE OF FINISHED MATERIAL, U.N.O.
- MAIL BOXES NOT PROVIDED TENANTS TO USE P.O. BOX SYSTEM.
- FRAMING TO EXTEND FLOOR TO STRUCTURE ABOVE.
- NON-BEARING STUD WALL ON CON. SLAB-ON-GRADE TO BE FLOATING. RE: STRUCT. AND 4/A404
- ALL INTERIOR FRAME WALLS TO BE FINISHED W/ 5/8" TYPE-X GYP. BD. U.N.O.
- PROVIDE 3-1/2" SOUND BATT INSULATION AT REST ROOM WALLS AND LEASE WALLS.
- DOORS ARE 5" FROM HINGE SIDE TO ADJACENT WALL, U.N.O.
- PROVIDE SEALANT AT TOP AND BOTTOM OF ALL RESTROOM AND LEASE WALLS.

FLOOR PLAN - KEYNOTES:

- (E) CRAWL SPACE ACCESS. GC TO VERIFY MIN. OPENING OF 1'-6" x 2'-0". (E) LADDER TO REMAIN.
- ROOF DRAIN (AND OVERFLOW DRAIN). RE: PLUMB.
- RADON EXHAUST PIPE. FAN @ EXT. OF BLDG. RE: MECH.
- FLUES AND DUCTS. RE: MECH.
- NOT USED.
- 36" HT WOOD HANDRAIL. RE: 4/A502
- 42" HT WOOD GUARDRAIL. RE: 6/A500
- OVERFLOW TO DAYLIGHT 24" ABOVE GRADE W/ BRASS LAMBS TOWARD. RE: PLUMB.
- RECESSED FIRE EXTINGUISHER CABINET. TOP OF CABINET @ 4'-0" AFF. RE: 2/A404
- NOT USED.
- (N) 1-1/2" DIA. STEEL PIPE, EA. SIDE PAINTED BLACK. RE: 7/A101.
- WRAP COLUMNS W/ 5/8" TYPE-X GYP. BD. PROVIDE 2x STUD FRAMING TO BOX OUT FOR ELECTRICAL & DATA WIRING & JACOBS. ALKIN STUD FRAMING W/ DROPPED BEAMS ABOVE. TYP. OF ALL INTERIOR STRUCTURAL COLUMNS.
- STUB-IN FOR WATER WASTE & VENT. RE: PLUMB.
- ADA PUSH BUTTON FOR WIRELESS AUTOMATIC DOOR OPENER. SURFACE MOUNT TO DOOR / WINDOW TRIM @ 36" A.F.F.
- REMOTE FIRE CONTROL PANEL. RE: ELEC.
- FIRE DEPT. CONNECTION.
- DRINKING FOUNTAINS. RE: 1/A602.
- POUR-OUT FOR GAS PIPING.
- ELECTRICAL CONDUITS TO REMAIN. CONDUITS SERVE ADJACENT PROPERTIES AND MUST BE PROTECTED DURING CONSTRUCTION SO AS TO NOT INTERRUPT POWER TO ADJACENT BUILDINGS. RE: STRUCT FOR FRAME SUPPORT WERE ABOVE GRADE.
- TRASH CONTAINERS. 95gal. (BY OWNER)
- LADDER TO ROOF HATCH RE: 3/A404.
- COORDINATE EXTENT OF EXT. RATED WALL W/ RATED WALL PLANS ON A001
- FURR-OUT (E) CMU WALL W/ 2X2 @ 16" O.C. AND 5/8" GYP. BD.








4	1/17/20	PERMIT SUBMITTAL
3	11/22/19	SOS CONSTRUCTION DOCUMENTS
2	11/02/19	DESIGN DEVELOPMENT
1	2/28/19	SCHEMATIC DESIGN
NO.	DATE	REVISION
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408		
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422		
SHEET TITLE FIRST FLOOR PLAN		
PROJECT:	201901	
DATE:	10/14/18	
DRAWN BY:	JPC	
CHECKED BY:	PEH	SHEET NUMBER A204

TOTAL AREA		
RETAIL 1 (M)	1,335 SF	1,335 SF
RETAIL 2 (M)	1,001 SF	1,001 SF
COMMON (M)	448 SF	448 SF
TOTAL	2,784 SF	

1 FIRST FLOOR PLAN
1/4" = 1'-0"

ALT. TRACTION MACHINE ROOM LESS
ELEVATORS WILL BE CONSIDERED.



 = SEE "BUILDING SYSTEM NOTES" ON A400 FOR DETAILED WALL ASSEMBLIES
 = (E) FRAME WALL
 = (N) 2x4 FRAME WALL SEE W7.0 ON A400
 = (N) 2x6 FRAME WALL SEE W7.0 ON A400
 = (N) CONC. FNDRET. WALL W/ 2x4 FRAME WALL

1. ALL INTERIOR FINISHES ARE TO BE CLASS A FINISHES WITH FLAME SPREAD OF 0-25, SMOKE DEVELOPED 0-450, AND SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE CHAPTER 8 REQUIREMENTS.

1. FINISHED FLOOR 100'-0" = 4074.16 USGS
2. ALL SHADED WALLS ARE NEW, SEE SYSTEM NOTES ON SHEET A400 FOR CONSTRUCTION.
3. CONC. AND MASONRY DIMENSIONS ARE TO FACE OF CONC. OR MASONRY. WOOD STUD CONSTRUCTION IS DIMENSIONED TO FACE OF FINISHED MATERIAL. U.N.O.
4. MAIL BOXES NOT PROVIDED TENANTS TO USE P.O. BOX SYSTEM
5. FRAMING TO EXTEND FLOOR TO STRUCTURE ABOVE.
6. NON-BEARING STUD WALL ON CONC. SLAB-ON-GRADE TO BE FLOATING. RE: STRUCT. AND A/A404

7. ALL INTERIOR FRAME WALLS TO BE FINISHED W/ 5/8" TYPE-X GYP BD. U.N.O
8. PROVIDE 3-1/2" SOUND BATT INSULATION AT REST ROOM WALLS AND LEASE WALLS.
9. DOORS ARE 5' FROM HINGE SIDE TO ADJACENT WALL. U.N.O.
10. PROVIDE SEALANT AT TOP AND BOTTOM OF ALL RESTROOM AND LEASE WALLS.

- 1) 1/4" CRAWL SPACE ACCESS, GO TO VERIFY MIN. OPENING OF 12" X 24". (E) LADDER TO REMAIN.
- 2) ROOF DRAIN AND OVER FLOW DRAIN, RE: PLUMB.
- 3) RAIN EXHAUST PIPE, FAN @ EXT. OF BLDG. RE: MECH.
- 4) FLUES AND DUCTS, RE: MECH.
- 5) NOT USED.
- 6) 36" HT WOOD HANDRAIL, RE: 4/5052
- 7) 42" HT WOOD GUARDRAIL, RE: 6/5050
- 8) OVERLOOK TO DAYLIGHT 24" ABOVE GRADE W BRASS LAMBS TONGUE FINISH, RE: PLUMB.
- 9) RECESSED FIRE EXTINGUISHER CABINET, TOP OF CABINET @ 36" AFF, RE: 3/5044
- 10) NOT USED.
- 11) (N) 1-1/2" DIA. STEEL PIPE, E-PA, SIDE PANTED BLACK, RE: 7/1011.
- 12) WRAP COULDS IN 5/8" TYPEX V-PB, BLDG. PROVIDE 2 STUDS TO BRACE TO BOX OUT FOR ELECTRICAL & DATA WIRING. ALSO, 1/2" STUD FRAMING W DRUMMED BRIMS ABOVE. TOP OF CP OF EXTERIOR WALL @ 36" AFF.
- 13) STUB-OUT FOR WATER, WASTE & VENT, RE: PLUMB.
- 14) ADD PUSH BUTTON FOR WIRELESS AUTOMATIC DOOR OPERATOR. WIRING TO GO TO WINDOW TRIM @ 36" A.F.F.
- 15) REMOTE TYPE CONTROL, PLUMB, RE: ELEC.
- 16) FIRE DEPT. CONNECTION.
- 17) DRAINING FOUNTAINS, RE: 1/6002.
- 18) FURR-OUT FOR GAS SIPPING.
- 19) ELECTRICAL, CONDUITS TO REMAIN, CONDUITS SERVE ADJACENT COMPARTMENTS. NOT TO BE PROTECTED DURING CONSTRUCTION SO AS NOT TO INTERRUPT POWER TO ADJACENT BUILDINGS. RE: STRUCT FOR FRAME SUPPORT WERE ABOVE SIPS.
- 20) TRASH CONTAINERS, 55gal. (BY OWNER)
- 21) LADDER TO ROOF HATCH RE: 3/5044.
- 22) COORDINATE EXIST. OF RET. HATCH WALL W RATED WALL AND DOOR.
- 23) FURR-OUT (E) CMJ WALL W 2X2 @ 24" O.C. AND 5" W/SP, B.D.

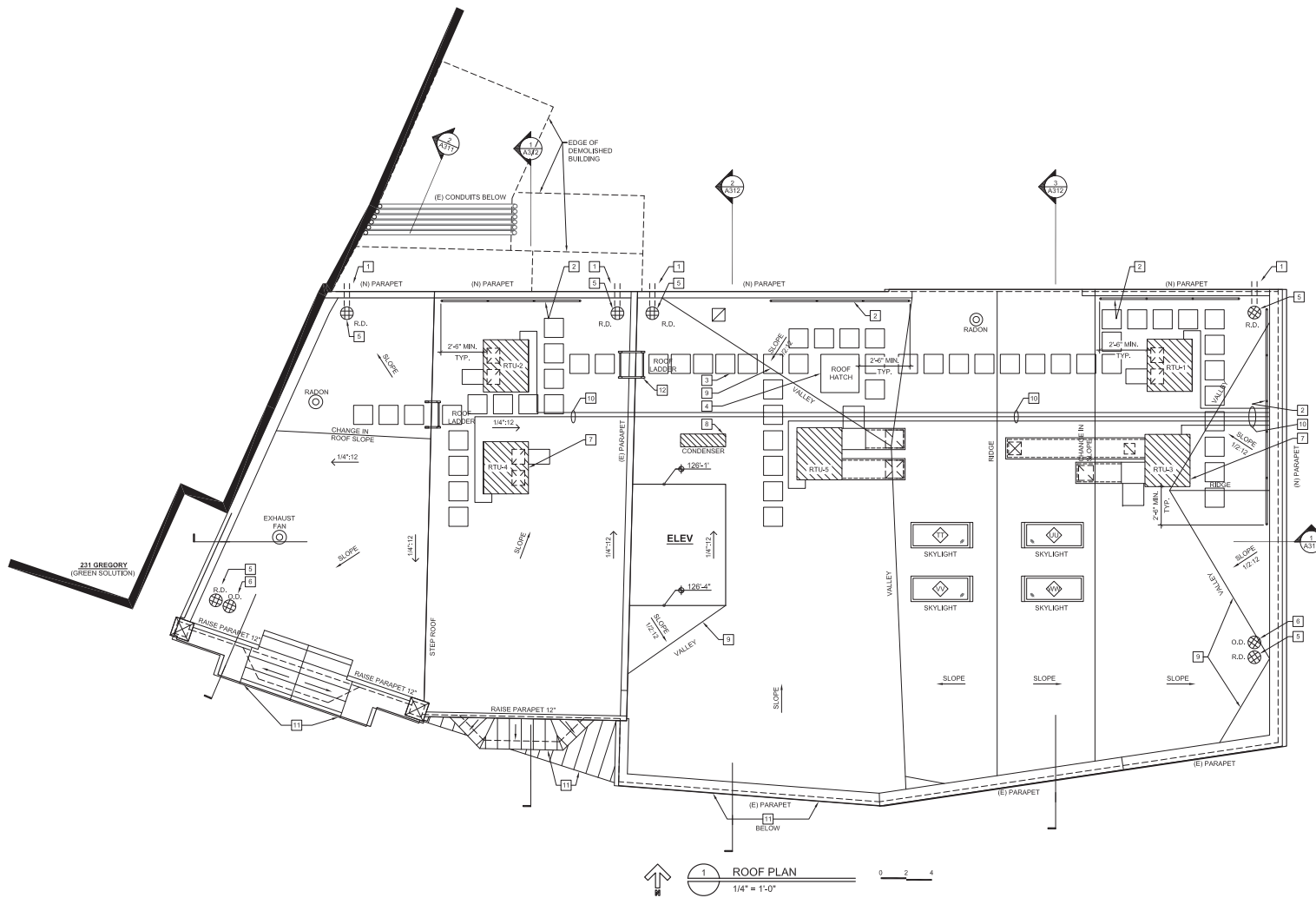


NO.	DATE	REVISION

1720 14th Street Suite 100
Boulder, CO 80302
303-442-0408

DRAWN BY: JPZ
 CHECKED BY: PEH


66 of 146



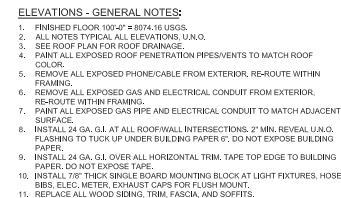
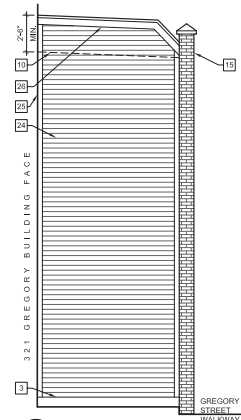
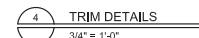
- ROOF PLAN - GENERAL NOTES:**
1. SISTER/REPLACE DAMAGED ROOF RAFTERS.
 2. (N) 60 MIL EPDM ROOFING.
 3. ROOF VENTILATION NOT REQUIRED. INSULATION IS ALL ABOVE ROOF FRAMING.

- ROOF PLAN - KEYNOTES:**
1. ROOF SCUPPER FOR OVERFLOW 2' ABOVE ROOF DRAIN. RE: PLUMB.
 2. 42" HT. STL PIPE GUARDRAIL, PAINTED BLACK. 1-1/2" STL PIPE. PAINTED BLACK. RE: 5/4/04.
 3. WALKWAY PADS FROM ROOF ACCESS HATCH TO AND AROUND MECHANICAL EQUIPMENT.
 4. 3/4" x 3/4" ROOF ACCESS HATCH. RE: 5/4/04.
 5. ROOF DRAIN. TYP. INTERNALLY PIPED TO FIRST FLOOR THEN CONNECTED TO STORM SYSTEM. RE: PLUMB.
 6. OVERFLOW DRAIN. INTERNALLY PIPED W/ LAMBS TONGUE BELOW FIRST FLOOR WINDOW SILLS. RE: PLUMB.
 7. RTU PER MECH. ON CURB. RE: 10/4/04.
 8. COOLING UNIT. RE: MECH. SET ON ELEVATED FRAMED HOUSING PAD WRAPPED IN ROOFING MEMBRANE. 12" ABOVE ROOF SURFACE. RE: 5/4/04.
 9. TAPERED INSULATION CRICKET. SLOPE 1/2" PER FT., TYP.
 10. GAS PIPING MOUNTED OVER ROOFING MEMBRANE W/ NON-PENETRATING STRUT. (ROOF TOP BLOX RTB-01 OR EQUAL).
 11. STANDING SEAM METAL ROOFING AT BAY WINDOWS AND GABLE ROOFS @ PARAPET AND BELLY SAND CORNER.
 12. ROOF LADDER OVER PARAPET @ CHANGE IN ROOF ELEVATIONS. RE: 5/4/04.

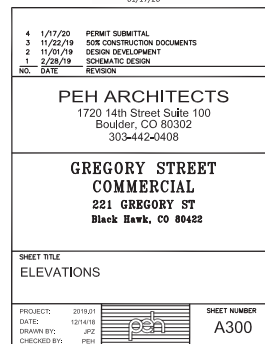


01/17/20			
4	1/17/20	PERMIT SUBMITTAL	
3	11/22/19	SOS CONSTRUCTION DOCUMENTS	
2	11/20/19	DESIGN DEVELOPMENT	
1	2/28/19	SCHEMATIC DESIGN	
NO.	DATE	REVISION	
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408			
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422			
SHEET TITLE ROOF PLAN			
PROJECT:	2019.01		SHEET NUMBER A206
DATE:	12/14/18		
DRAWN BY:	JPC		
CHECKED BY:	PEH		

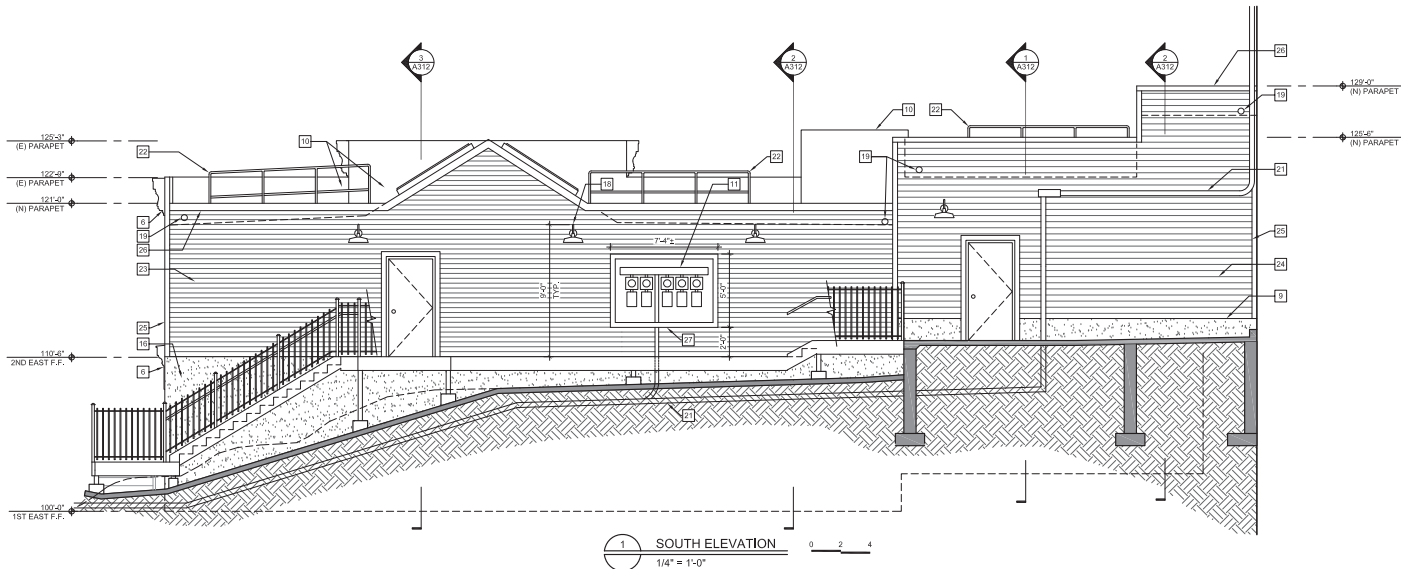
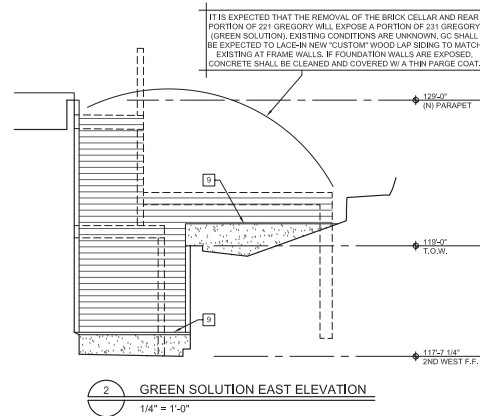
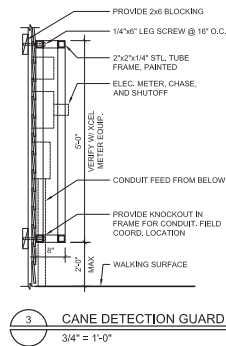
WALL AREA: 727 SF
 OPENING AREA: 88 SF
 OPENING RATIO: 12.1%
 FIRE SEPARATION DISTANCE = 15'-0"
 ALLOWABLE OPENINGS:
 UNPROTECTED SPRINKLERED = 75%



- ## ELEVATIONS - KEYNOTES:
- | | |
|----|---|
| 1 | HORIZONTAL PLATE SIDING W/ 4" REVEAL. |
| 2 | HORIZONTAL PLATE SIDING W/ 5" REVEAL. |
| 3 | 5/4"X12" AZEK® CELLULAR PVC SKIRTBOARD, FLASH TOP EDGE |
| 4 | 7/8"X4" CORNER BOARD, RSP ONE CORNER BOARD TO MAINTAIN 4" EXPOSURE EACH SIDE. |
| 5 | 7/8"X6" FREEZE / FASCIA |
| 6 | DECORATIVE CORNER RE: A302 |
| 7 | STANDING SEAM METAL ROOFING |
| 8 | WINDOW AND DOOR TRIM, RE: 41A300 |
| 9 | RAISED CONCRETE CURB, MAINTAIN 15" MIN. EXPOSURE ABOVE ADJACENT GRADING, COORDINATE TOP OF CONCRETE CURB W/ GRADE |
| 10 | DOWN SLOPE ON GRADING PLAN & FOUNDATION PLAN. |
| 11 | MEMBRANE ROOF FLOOR BEYOND |
| 12 | E.M. LOCATION - VERIFY W/ XCEL. |
| 13 | G.I. LOCATION - VERIFY W/ XCEL. (BEHIND SLIDING GATE- NO LOCK) |
| 14 | DECORATIVE WOOD SHAKE SHINGLE SIDING |
| 15 | 1x6 V-GOROVE T-O BD. W/ 7/8"X4" AND 12" COVE PROFILE FRAME |
| 16 | POINT (E) BRICK VENEER |
| 17 | PAINT EXPOSED CONC. FND. |
| 18 | (N) BRICK VENEER |
| 19 | WALL SCOUNCE. RE: ELEC. |
| 20 | OVERFLOW SCUPPER RE: ROOF PLAN |
| 21 | OVERFLOW LAMBS TONGUE, RE: PLUMB, 24" ABOVE GRADE |
| 22 | (E) ELEC. CONDUCITS SERVE ADJACENT PROPERTIES AND MUST BE PROTECTED DURING CONSTRUCTION SO AS TO NOT INTERRUPT POWER TO EXISTING BUILDINGS. |
| 23 | METAL GUARDRAIL, RE: A206 ROOF PLAN |
| 24 | FIBER CEMENT HORIZONTAL PLATE SIDING W/ 4" REVEAL |
| 25 | FIBER CEMENT HORIZONTAL PLATE SIDING W/ 5" REVEAL |
| 26 | 5/4" x 3.5" FIBER CEMENT CORNER BOARD |
| 27 | 5/4" x 5.5" FIBER CEMENT FREEZE/FASCIA |
| 28 | STEEL CASE DETECTION GARD PICTURE FRAME @ ELECTRIC METERS (RE: 3A301) |



EXTERIOR FINISH CHART					
COLOR	CS#	TYPE	MANUFACTURER	FINISH	
	04 20 00	MORTAR	-	MATCH EXISTING	
	04 20 00	BRICK MASONRY	-	EXISTING TO REMAIN	
RODGERS	07 53 23	EPDM ROOF	FIRESTONE	80 MIL BLACK	
	06 52 30	RODGERS WINDOWS	MARVIN	CASHMERE	
	07 61 13	STANDING SEAM METAL ROOFING	RHEINZINK	ZINC (NATURAL)	
	09 91 13	RODGERS BODY	SHERWIN WILLIAMS	SW6347 CHRYSANTHEMUM	
RUDDOLPH	09 91 13	RODGERS TRIM	SHERWIN WILLIAMS	SW9389 HUMBLE GOLD	
	09 91 13	RODGERS ACCENT	SHERWIN WILLIAMS	SW9314 LUXURIOUS RED	
	06 52 30	RUDDOLPH WINDOWS	MARVIN	COCONUT CREAM	
	09 91 13	RUDDOLPH BODY	SHERWIN WILLIAMS	SW9018 HONEY BEES	
OYLER	09 91 13	RUDDOLPH TRIM	SHERWIN WILLIAMS	SW6244 NAVAL	
	09 91 13	RUDDOLPH ACCENT	SHERWIN WILLIAMS	SW9185 AGED WHITE	
	06 50 30	OYLER WINDOWS	MARVIN	COCONUT CREAM	
	09 91 13	OYLER BODY	SHERWIN WILLIAMS	SW6963 SAPPHIRE	
	09 91 13	OYLER TRIM	SHERWIN WILLIAMS	SW9185 AGED WHITE	
	09 91 13	OYLER ACCENT	SHERWIN WILLIAMS	SW2839 ROYCROFT COPPER RED	

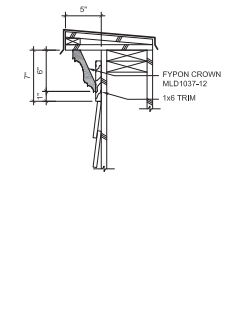
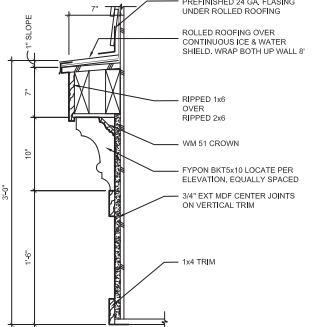
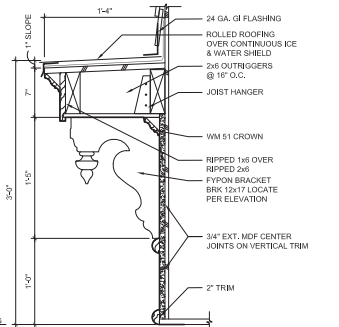
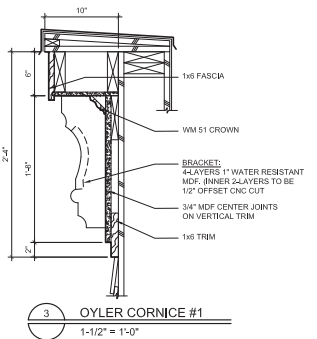
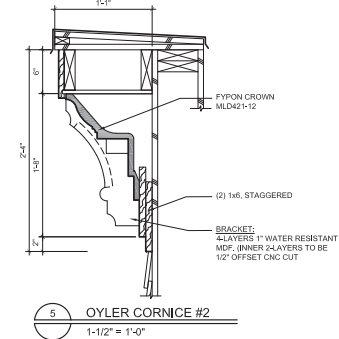
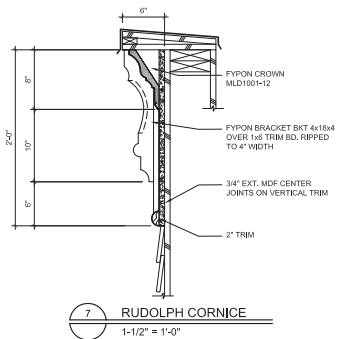
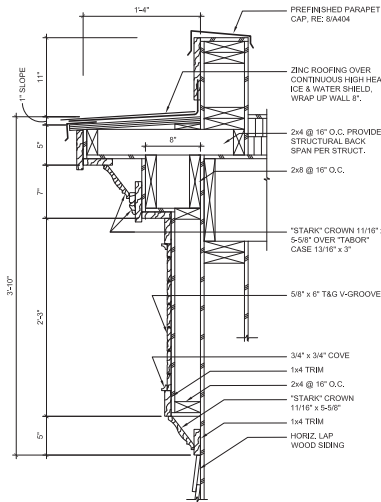
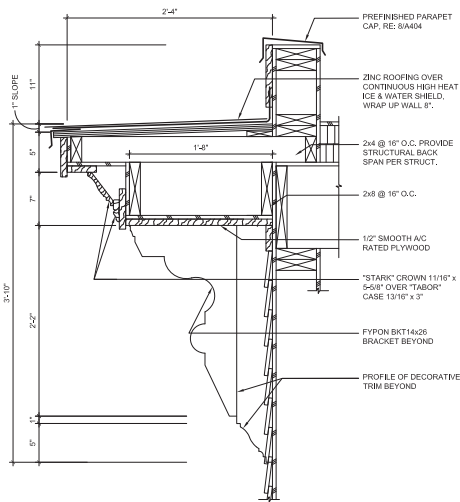



- ELEVATIONS - GENERAL NOTES:**
1. FINISHED FLOOR 100'-0" ± MGA, 16 USGS.
 2. ALL NOTES TYPICAL ALL ELEVATIONS, UNLESS NOTED OTHERWISE.
 3. SEE ROOF PLAN FOR ROOF DRAINAGE.
 4. PAINT ALL EXPOSED ROOF PENETRATIONS PRESERVES TO MATCH ROOF COLOR.
 5. REMOVE ALL EXPOSED PHONE/CABLE FROM EXTERIOR, RE-ROUTE WITHIN FRAMING.
 6. REMOVE ALL EXPOSED GAS AND ELECTRICAL CONDUIT FROM EXTERIOR, RE-ROUTE WITHIN FRAMING.
 7. PAINT ALL EXPOSED GAS PIPE AND ELECTRICAL CONDUIT TO MATCH ADJACENT SURFACE.
 8. INSTALL 24 GA. G.I. AT ALL ROOF/WALL INTERSECTIONS, 2" MIN. REVEAL UNO. FLASHING TO TUCK UP UNDER BUILDING PAPER 6". DO NOT EXPOSE BUILDING PAPER.
 9. INSTALL 24 GA. G.I. OVER ALL HORIZONTAL TRIM, TAPE TOP EDGE TO BUILDING PAPER, DO NOT EXPOSE TAPE.
 10. INSTALL 7/8" THICK SINGLE BOARD MOUNTING BLOCK AT LIGHT FIXTURES, HOSE BIBS, ELEC. METER, EXHAUST CAPS FOR FLUSH MOUNT.
 11. REPLACE ALL WOOD SIDING, TRIM, FASCIA, AND SOFFITS.

- ELEVATIONS - KEYNOTES:**
1. HORIZONTAL LAP SIDING W/ 4" REVEAL.
 2. HORIZONTAL LAP SIDING W/ 5" REVEAL.
 3. 5/4"x12" "AZEK" CELLULAR PVC SKIRTBOARD, FLASH TOP EDGE
 4. 7/8"x4" CORNER BOARD, REP ONE CORNER BOARD TO MAINTAIN 4" EXPOSURE EACH SIDE.
 5. 7/8"x6" FRIEZE / FASCIA
 6. DECORATIVE CORNICE RE: A302
 7. STANDING SEAM METAL ROOFING
 8. WINDOW AND DOOR TRIM, RE: 41A300
 9. RAISED CONCRETE CURB, MAINTAIN 18" MIN. EXPOSURE ABOVE ADJACENT GRADE. COORDINATE TOP OF CONCRETE CURB W/ GRADING AS SHOWN ON GRADING PLAN & FOUNDATION PLAN.
 10. MEMBRANE ROOF BEYOND
 11. E.M. LOCATION - VERIFY W/ XCEL
 12. G.M. LOCATION - VERIFY W/ XCEL, (BEHIND SLIDING GATE-NO LOCK)
 13. DECORATIVE WOOD SHAKE SHINGLE SIDING
 14. 1x6 V-GROOVE T+G BD. W/ 7/8"x4" AND 1/2" COVE PICTURE FRAME
 15. REPOINT (E) BRICK VENEER
 16. PAINT EXPOSED CONC. FND.
 17. (N) BRICK VENEER
 18. WALL SCIENCE, RE: ELEC.
 19. OVERFLOW SCUPPER RE: ROOF PLAN
 20. OVERFLOW LAMBS TONGUE, RE: PLUMB, 24" ABOVE GRADE
 21. (E) ELEC. CONDUITS SERVE ADJACENT PROPERTIES AND MUST BE PROTECTED DURING CONSTRUCTION SO AS TO NOT INTERRUPT POWER TO ADJACENT BUILDINGS.
 22. METAL GUARDRAIL, RE: ASH ROOF PLAN
 23. FIBER CEMENT HORIZONTAL LAP SIDING W/ 4" REVEAL
 24. FIBER CEMENT HORIZONTAL LAP SIDING W/ 5" REVEAL
 25. 5/4" x 3.5" FIBER CEMENT CORNER BOARD
 26. 5/4" x 5.5" FIBER CEMENT FRIEZE/FASCIA
 27. STEEL CANE DETECTION GUARD PICTURE FRAME @ ELECTRIC METERS, RE: 31A301.

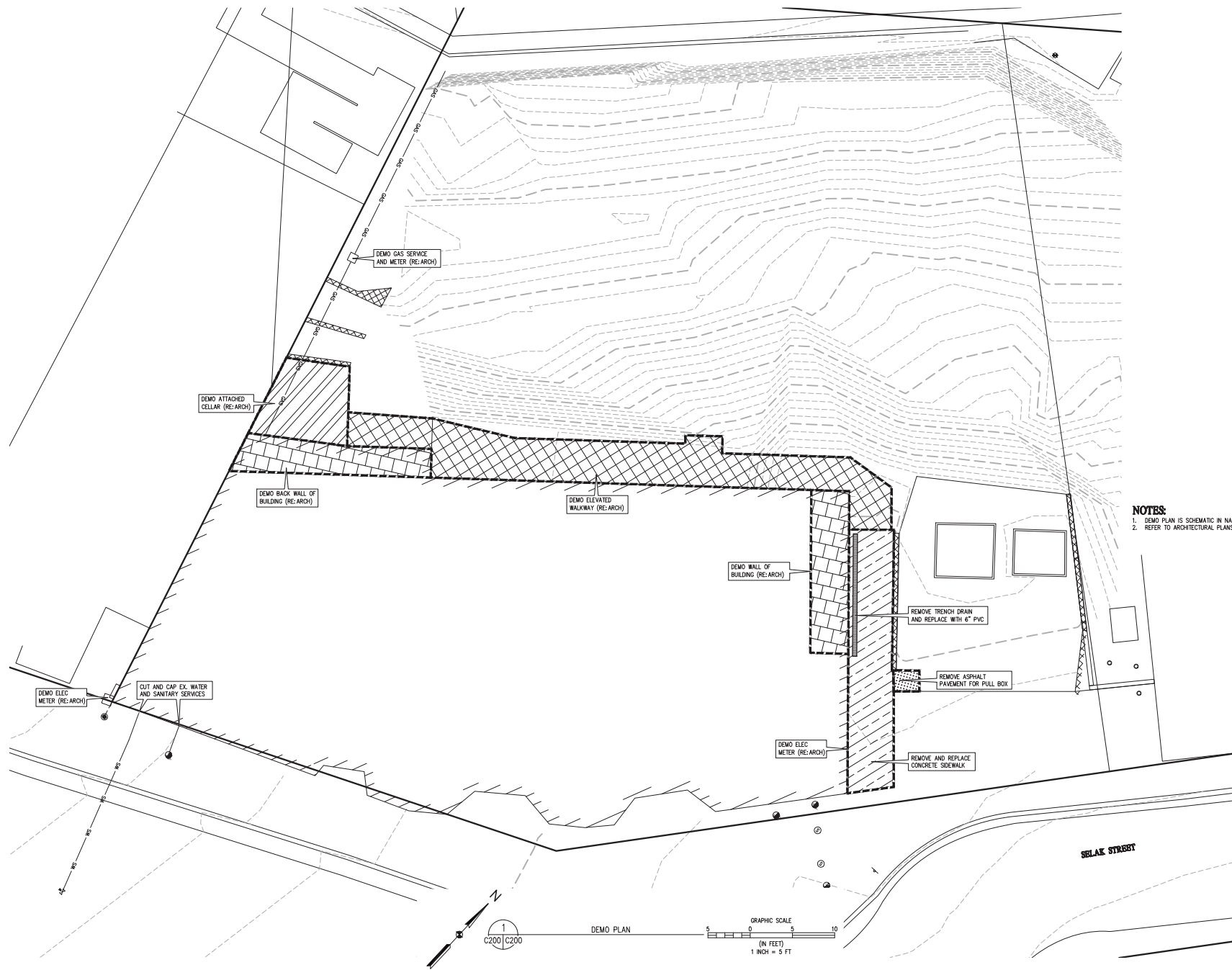


PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408	
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422	
SHEET TITLE ELEVATIONS	
PROJECT: 2019.01 DATE: 12/14/19 DRAWN BY: LCH CHECKED BY: PEH	SHEET NUMBER A301



1	1/27/20	PERMIT SUBMITTAL
2	11/25/19	50% CONSTRUCTION DOCUMENTS
3	11/05/19	DESIGN DEVELOPMENT
1	2/28/19	SCHEMATIC DESIGN
NO. DATE REVISION		
<p>PEH ARCHITECTS</p> <p>1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408</p>		
<p>GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422</p>		
<p>SHEET TITLE</p> <p>RUDOLPH & OYLER ELEVATION DETAILS</p>		
PROJECT:	2019.01	
DATE:	12/18/18	
DRAWN BY:	JEH	
CHECKED BY:	PEH	
		<p>SHEET NUMBER</p> <p>A302</p>

N:\C0418 - GREGORY ST COMM. BUILDING\DRAWINGS\CONSTRUCTION DOCUMENTS\1418 DEMO PLAN.dwg - 1/22/20 - Jordan Ralovsky

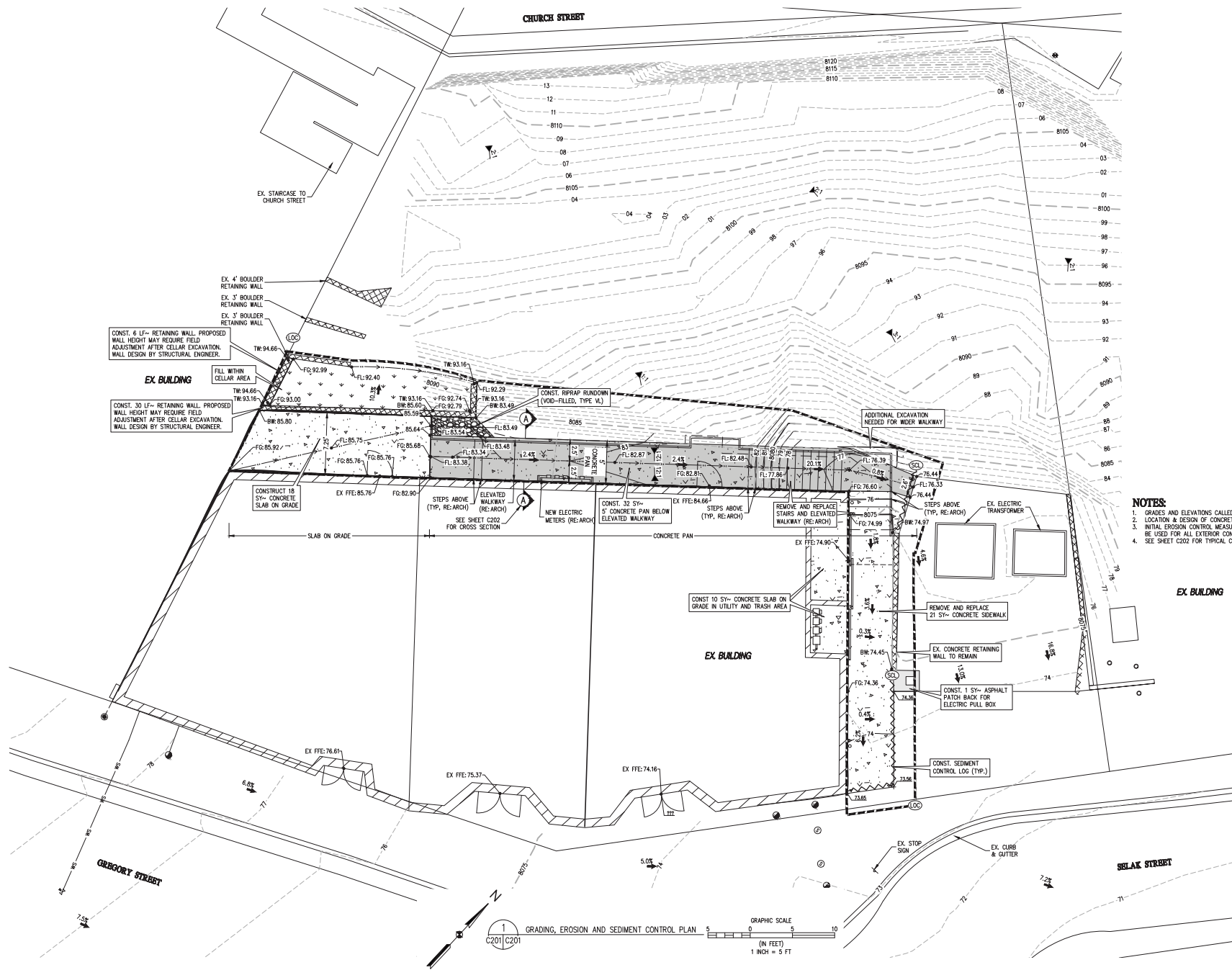


- NOTES:**
1. DEMO PLAN IS SCHEMATIC IN NATURE AND INTENDED TO CLARIFY THE DESIGN TO THE CONTRACTOR.
 2. REFER TO ARCHITECTURAL PLANS FOR FULL DETAILS OF BUILDING AND WALKWAY DEMO.



4 01/17/20 PERMIT CONSTRUCTION DOCUMENTS	
3 11/22/19 50% CONSTRUCTION DOCUMENTS	
2 11/01/19 DESIGN DEVELOPMENT	
1 2/28/19 SCHEMATIC DESIGN	
NO.	DATE
SHEET TITLE	
DEMO PLAN	
PROJECT: C03418	
DATE: 01/15/20	
DRAWN BY: JTP	
CHECKED BY: NLR	
SHEET NUMBER	
C200	

N:\C0418 - GREGORY ST COMM. BUILDING\DRAWINGS\CONSTRUCTION DOCUMENTS\418 SEDC PLANLINE - 1/27/20 - Jordan Piskewsky

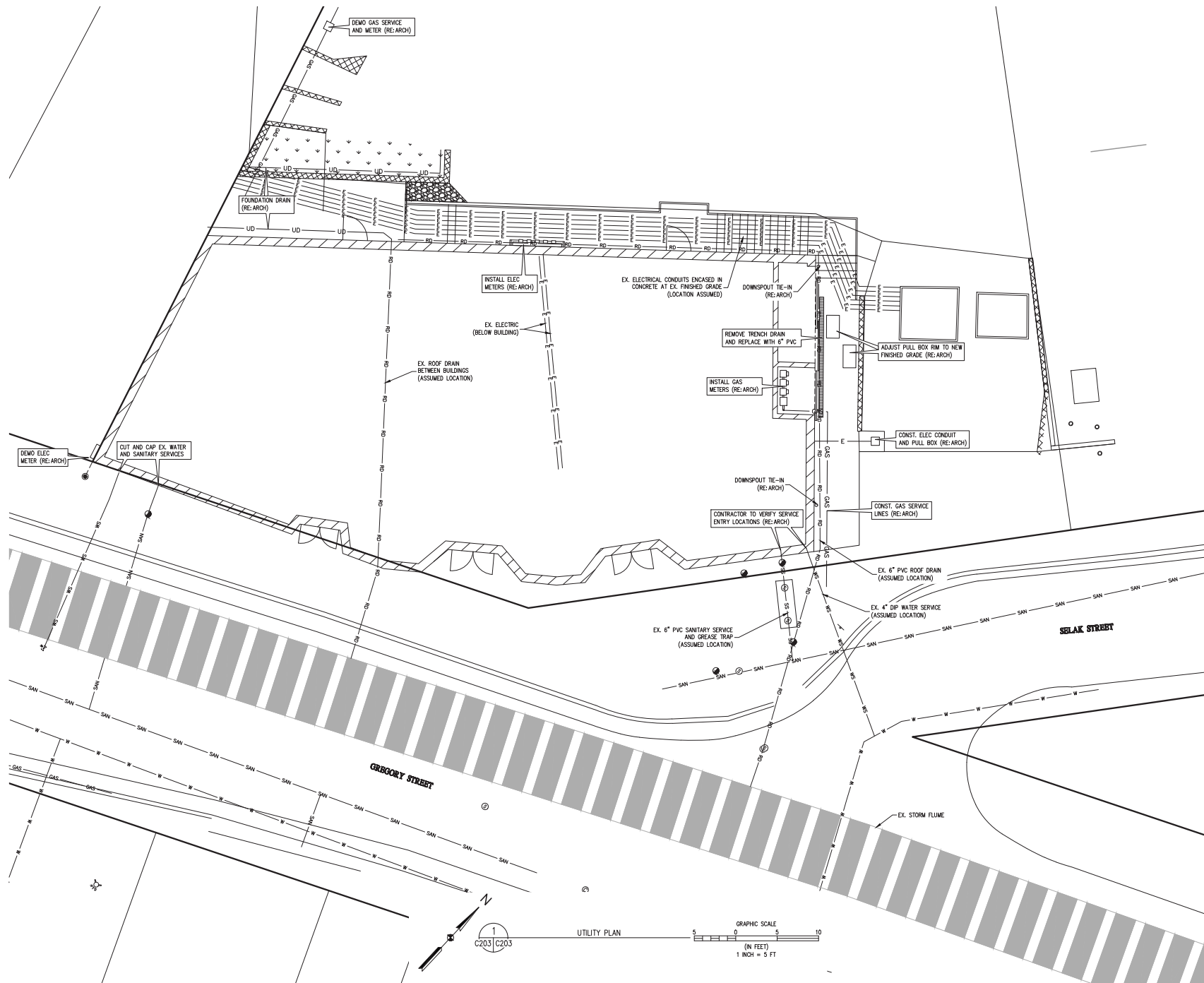


- NOTES:**
1. GRADES AND ELEVATIONS CALLED OUT REFER TO THE FINISHED GROUND AND NOT THE ELEVATED STRUCTURE.
 2. LOCATION & DESIGN OF CONCRETE PAN SUBJECT TO CHANGE BASED ON FIELD EXCAVATION OF NATIVE BOULDERS.
 3. INITIAL EROSION CONTROL MEASURES TO BE INCORPORATED BEFORE COMMENCEMENT OF WORK. CONCRETE WASHOUT TO BE USED FOR ALL EXTERIOR CONCRETE WORK. STAGING AREA TO BE APPROVED BY THE CITY OF BLACK HAWK.
 4. SEE SHEET C202 FOR TYPICAL CROSS SECTIONS AND PROFILE VIEW OF WALKWAY.



4 01/17/20 PERMIT CONSTRUCTION DOCUMENTS	
3 11/22/19 50% CONSTRUCTION DOCUMENTS	
2 11/09/19 DESIGN DEVELOPMENT	
1 2/28/19 SCHEMATIC DESIGN	
NO.	DATE REVISION
PEH ARCHITECTS 1720 14th Street Suite 100 Boulder, CO 80302 303-442-0408	
GREGORY STREET COMMERCIAL 221 GREGORY ST Black Hawk, CO 80422	
SHEET TITLE GRADING, EROSION AND SEDIMENT CONTROL PLAN	
PROJECT: C20418	SHEET NUMBER: C201
DATE: 01/15/20	
DRAWN BY: JTP	
CHECKED BY: NUN	

N:\C0418 - GREGORY ST COMM. BUILDING\DRAWINGS\CONSTRUCTION DOCUMENTS\1418 UTILITY PLAN.DWG - 1/22/20 - Jordan Prosser



NOTES:
1. UTILITY PLAN IS SCHEMATIC IN NATURE AND REQUIRES CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BEFORE COMMENCING WORK.



4 01/17/20 PERMIT CONSTRUCTION DOCUMENTS	
3 11/22/19 50% CONSTRUCTION DOCUMENTS	
2 11/01/19 DESIGN DEVELOPMENT	
1 2/28/19 SCHEMATIC DESIGN	
NO.	DATE
SHEET TITLE	
UTILITY PLAN	
PROJECT: C03418	
DATE: 01/15/20	
DRAWN BY: JTP	
CHECKED BY: NUN	
SHEET NUMBER	
C203	

RESOLUTION 37-2020
A RESOLUTION
CONSENTING TO AND
EXTENDING THE ORDER
DECLARING A LOCAL
DISASTER EMERGENCY
IN AND FOR THE CITY OF
BLACK HAWK,
COLORADO

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 37-2020

**TITLE: A RESOLUTION CONSENTING TO AND EXTENDING THE
ORDER DECLARING A LOCAL DISASTER EMERGENCY IN
AND FOR THE CITY OF BLACK HAWK, COLORADO**

WHEREAS, the Colorado Disaster Emergency Act, C.R.S. § 24-33.5-701, *et seq.* (the "Act"), provides procedures for statewide and local prevention of, preparation for, response to, and recovery from disasters and emergencies;

WHEREAS, pursuant to the Act, an "emergency" is an unexpected event that places life or property in danger and requires an immediate response through the use of state and community resources and procedures, and an "emergency epidemic" is cases of an illness or condition, communicable or noncommunicable, caused by bioterrorism, pandemic influenza, or novel and highly fatal infectious agents or biological toxins;

WHEREAS, pursuant to C.R.S. § 24-33.5-709, a local disaster emergency may be declared "only by the principal executive officer of a political subdivision," here, the Mayor;

WHEREAS, pursuant to the City of Black Hawk Home Rule Charter, Article VIII, Section 13, in case of emergency, the Mayor assumes the authority to execute any action necessary for the protection of life and property, including the authority to establish regulations governing conduct and activities related to the cause of the emergency;

WHEREAS, on March 18, 2020, the Mayor did issue an order declaring a local disaster (the "Order");

WHEREAS, pursuant to C.R.S. § 24-33.5-709(1) the declaration of a local emergency shall not be continued or renewed for a period in excess of 7 days except by or with the consent of City Council;

WHEREAS, the City Council extended the declaration of local emergency by Resolution dated March 25, 2020 until April 24, 2020 (the "Resolution");

WHEREAS, pursuant to C.R.S. § 24-33.5-709(1), any order declaring, continuing, or terminating a local disaster emergency shall be given prompt and general publicity and shall be filed promptly with the City Clerk, the County Clerk and with the state office of emergency management;

WHEREAS, immediately after they were issued, the Order and the Resolution were given prompt and general publicity, and were filed with the City Clerk and the Gilpin County Clerk and Recorder and were submitted to the Colorado Office of Emergency Management; and

WHEREAS, the City Council desires to extend the declaration of local emergency by Resolution retroactively from April 24, 2020, and to do so indefinitely until terminated by the City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby extends the Order Declaring a Local Disaster Emergency in and for City of Black Hawk, Colorado indefinitely until terminated by action of the City Council.

Section 2. This Resolution shall be given prompt and general publicity, filed with the City Clerk and the Gilpin County Clerk and Recorder, and submitted to the Colorado Office of Emergency Management.

RESOLVED AND PASSED this 13th day of May, 2020, retroactive to April 24, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: Extension of the Order Declaring a Local Disaster Emergency

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 37-2020, A Resolution Consenting to and Extending the Order Declaring a Local Disaster Emergency In and For the City of Black Hawk, Colorado

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Response to Coronavirus COVID-19.

AGENDA DATE: May 13, 2020

WORKSHOP DATE: N/A

FUNDING SOURCE: Various line items

DEPARTMENT DIRECTOR APPROVAL: ☒ Yes ☐ No

STAFF PERSON RESPONSIBLE: Melissa Greiner, CMC
City Clerk/Administrative Service Director

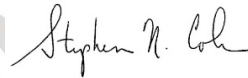
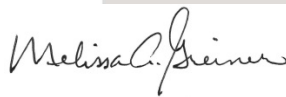
DOCUMENTS ATTACHED: N/A

RECORD: ☐ Yes ☒ No

CITY ATTORNEY REVIEW: ☐ Yes ☒ N/A

SUBMITTED BY:

REVIEWED BY:



Melissa A. Greiner, CMC
City Clerk/Administrative Services Director

Stephen N. Cole
City Manager

RESOLUTION 38-2020
A RESOLUTION
APPROVING THE
RELEASE OF THE CITY'S
INTEREST IN THE
HELIPAD LICENSE
AGREEMENT LOCATED
ON LOT 1, BLOCK 1 OF
MINERS MESA
SUBDIVISION FILING NO. 4

STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK

Resolution No. 38-2020

**TITLE: A RESOLUTION APPROVING THE RELEASE OF THE CITY'S
INTEREST IN THE HELIPAD LICENSE AGREEMENT LOCATED ON
LOT 1, BLOCK 1 OF MINERS MESA SUBDIVISION FILING NO. 4**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the release of the City's interest in the
Helipad License Agreement located on Lot 1, Block 1 of Miners Mesa Subdivision Filing No. 4.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: Release of Miners Mesa Helipad License Agreement.

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 38-2020, a Resolution releasing City interest in the Helipad License Agreement located on Miners Mesa as shown on Lot 1 Block 1 Miners Mesa Subdivision Filing No 4.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

In conjunction with the rezoning of Lot 1 Block, 1 Miners Mesa Subdivision Filing No 4, the City of Black Hawk has researched and reviewed the City's use and interest in the helipad currently existing on said Lot. Said subdivision plat indicates a Helipad License Agreement but lacks the necessary recording information. No evidence has been discovered showing that the license agreement was ever executed or recorded. The City of Black Hawk Fire Chief has indicated a desire to release interest in the unverified license agreement for the site and abandon the helipad. Once the City Council releases the Helipad License Agreement, the Fire Chief will file papers with the FAA, indicating abandonment of the helipad site.

AGENDA DATE: May 13, 2020

WORKSHOP DATE: N/A

FUNDING SOURCE: N/A

DEPARTMENT DIRECTOR APPROVAL: ☒ Yes ☐ No

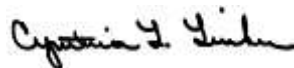
STAFF PERSON RESPONSIBLE: Cynthia L. Linker, CP&D Director

DOCUMENTS ATTACHED: Resolution 38-2020
Request for Council Action
Miners Mesa Subdivision Filing No. 4

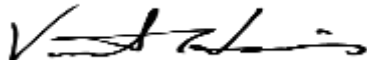
RECORD: ☒ Yes ☐ No

CITY ATTORNEY REVIEW: ☒ Yes ☐ N/A

SUBMITTED BY:



Cynthia L. Linker, CP&D Director



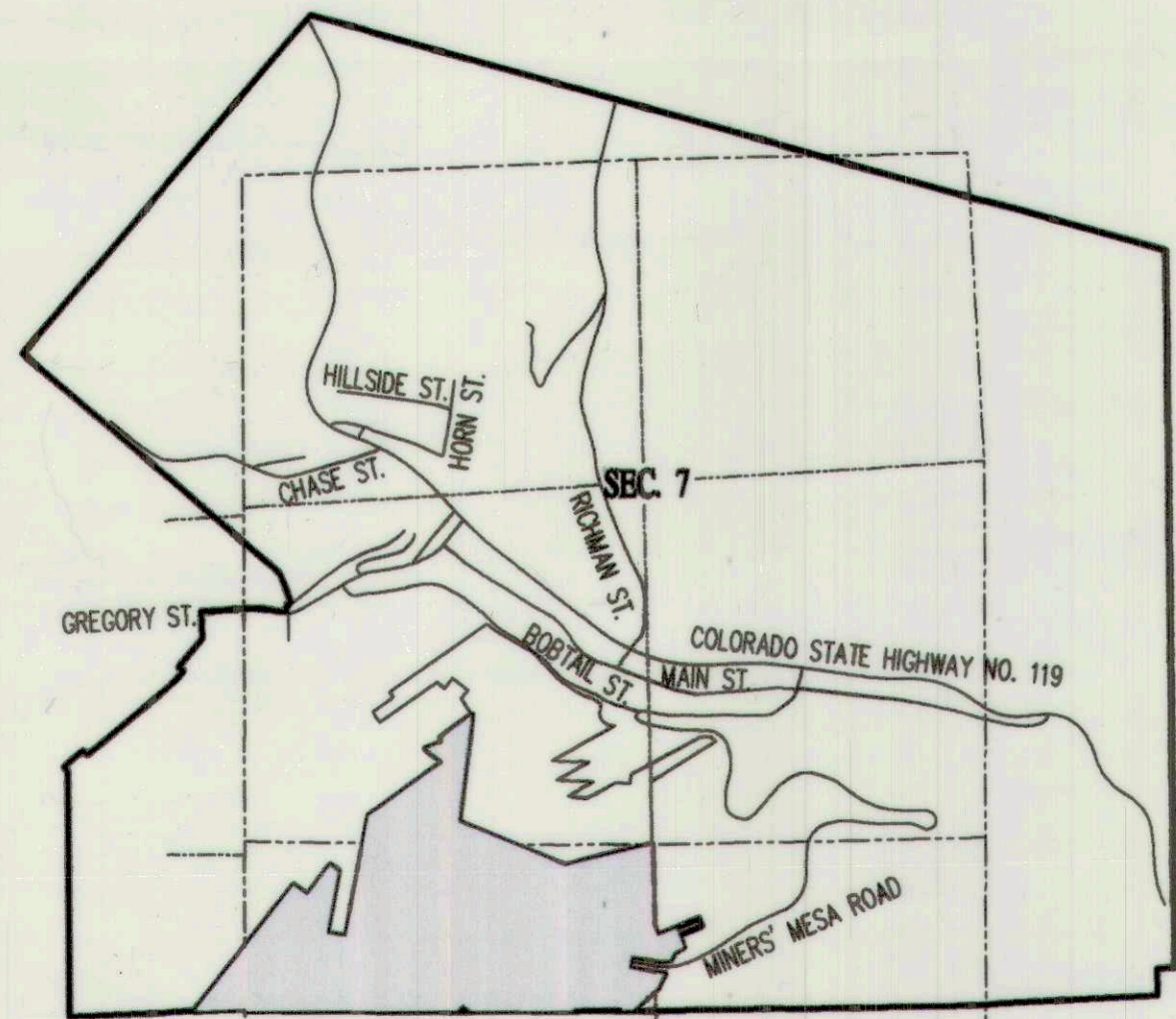
Vincent Harris, AICP, Baseline Corporation

REVIEWED BY:



Stephen N. Cole, City Manager





VICINITY MAP
1"=1500'

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THE CITY OF BLACK HAWK AND CLUB VISTA PROPERTIES II, LLC, BEING THE OWNERS OF THAT REAL PROPERTY DESCRIBED BELOW, HAS CAUSED SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS MINERS' MESA SUBDIVISION FILING NO. 4, AND DOES HEREBY DEDICATE AND SET APART ALL THE STREETS, EASEMENTS AND OTHER PUBLIC WAYS AND PLACES SHOWN ON THE ACCOMPANYING PLAT FOR THE USE OF THE PUBLIC FOREVER, EXCEPT THOSE OF PRIOR RECORD AND DOES HEREBY GRANT TO THE CITY OF BLACK HAWK USE OF THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE INDICATED AS EASEMENTS AND TRACT(S) ON THE ACCOMPANYING PLAT AS PERMANENT PUBLIC EASEMENTS AND STREETS. IT IS EXPRESSLY UNDERSTOOD THAT THE ACCEPTANCE OF THE DEDICATION OF THE EASEMENTS AND STREETS IS NOT TO BE CONSTRUED AS AN ACCEPTANCE BY THE CITY OF SAID EASEMENT AND STREETS FOR ANY OTHER PURPOSE, INCLUDING MAINTENANCE PURPOSES.

DESCRIPTION:

A RESUBDIVISION OF LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 2, RECORDED AT RECEPTION NUMBER 130944 AND LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 3, RECORDED AT RECEPTION NUMBER 132292, LOCATED WITHIN THE SOUTH HALF OF SECTION 7, THE NORTH HALF OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 72 WEST AND THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 73 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 7, BEING THE NORTHEAST CORNER OF SAID LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 3, WHENCE THE SOUTHWEST CORNER OF SAID SECTION IS ASSUMED TO BEAR N 89°07'56" W, 3189.57 FEET; WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE ALONG THE PERIMETER BOUNDARY OF SAID MINERS' MESA SUBDIVISIONS FILING NO. 2 AND 3, S 0°43'40" E, 627.36 FEET; THENCE S 67°50'00" W, 191.40 FEET; THENCE S 19°14'00" E, 348.31 FEET; THENCE S 22°43'00" E, 61.39 FEET; THENCE S 67°50'00" W, 191.40 FEET; THENCE S 19°14'00" E, 101.14 FEET; THENCE S 64°28'00" W, 82.20 FEET; THENCE S 25°00'00" W, 68.43 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 129.92 FEET, HAVING A RADIUS OF 440.16 FEET, A CENTRAL ANGLE OF 16°54'43" AND WHICH CHORD BEARS N 87°21'36" W, 129.45 FEET; THENCE N 78°54'15" W, 180.93 FEET; THENCE S 11°03'33" W, 100.00 FEET; THENCE S 78°54'15" E, 180.87 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 101.53 FEET, HAVING A RADIUS OF 540.16 FEET, A CENTRAL ANGLE OF 10°46'09" AND WHICH CHORD BEARS S 84°17'19" E, 101.38 FEET; THENCE S 25°00'00" W, 123.62 FEET; THENCE S 48°59'00" W, 265.56 FEET; THENCE N 89°24'55" W, 80.13 FEET; THENCE N 31°43'30" W, 23.14 FEET; THENCE N 89°53'30" W, 112.47 FEET; THENCE S 50°23'44" W, 29.28 FEET; THENCE N 89°49'34" W, 52.75 FEET; THENCE N 26°33'00" W, 20.36 FEET; THENCE N 90°00'00" W, 167.44 FEET; THENCE S 63°22'30" W, 36.21 FEET; THENCE N 89°38'25" W, 775.80 FEET; THENCE N 50°26'38" W, 82.08 FEET; THENCE S 39°30'37" W, 66.89 FEET; THENCE N 89°38'25" W, 1662.40 FEET; THENCE N 00°33'52" E, 17.08 FEET; THENCE S 87°59'17" W, 405.04 FEET; THENCE N 39°00'00" E, 1259.38 FEET; THENCE S 52°52'43" E, 132.70 FEET; THENCE N 37°07'17" E, 293.28 FEET; THENCE S 53°00'01" E, 82.44 FEET; THENCE S 10°53'44" W, 493.10 FEET; THENCE S 80°02'48" E, 149.42 FEET; THENCE N 10°55'57" E, 958.67 FEET; THENCE N 54°39'54" E, 719.57 FEET; THENCE N 53°04'00" W, 171.33 FEET; THENCE N 71°30'03" E, 148.55 FEET; THENCE N 18°30'03" W, 40.00 FEET; THENCE N 54°15'00" E, 300.00 FEET;

THENCE DEPARTING SAID PERIMETER BOUNDARY AND CONTINUING ALONG THE COMMON LINE WITH LOTS 1 AND 2, BLOCK 1 OF SAID MINERS' MESA FILING NO. 3 THE FOLLOWING THREE (3) COURSES:

1. S 07°42'11" W, 838.29 FEET;
2. THENCE S 67°00'00" E, 900.00 FEET;
3. THENCE N 77°14'02" E, 701.68 FEET TO THE POINT OF BEGINNING, CONTAINING 96.75 ACRES MORE OR LESS.

MINERS' MESA SUBDIVISION FILING NO. 4 MINOR SUBDIVISION PLAT

A RESUBDIVISION OF LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 2 AND LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 3, LOCATED WITHIN THE SOUTH HALF OF SECTION 7, THE NORTH HALF OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 72 WEST AND THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 73 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO
SHEET 1 OF 2

OWNERS/SUBDIVIDERS:

IN WITNESS WHEREOF, DAVID D. SPELLMAN, AS MAYOR AND JEANIE MAGNO AS CITY CLERK OF THE CITY OF BLACK HAWK, HAS CAUSED THEIR NAMES TO BE HEREUNTO SUBSCRIBED THIS 14 DAY OF November, 2012.

ATTEST:

Jeanie Magno
JEANIE MAGNO, CITY CLERK

CITY OF BLACK HAWK

BY: *David D. Spellman*
DAVID D. SPELLMAN, MAYOR

NOTARY PUBLIC

STATE OF COLORADO }
COUNTY OF Gilpin } SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14 DAY OF November, 2012 BY DAVID D. SPELLMAN AS MAYOR AND JEANIE MAGNO AS CITY CLERK OF THE CITY OF BLACK HAWK, FOR AND ON BEHALF OF THE CITY.

WITNESS MY HAND AND OFFICIAL SEAL

Kelly K. 98
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3-22-2014



IN WITNESS WHEREOF, Paul Stashick, AS VP OF CLUB VISTA PROPERTIES II, LLC, A ND LIMITED LIABILITY COMPANY, HAS CAUSED Paul Stashick, NAME TO BE HEREUNTO SUBSCRIBED THIS 13 DAY OF November, 2012.

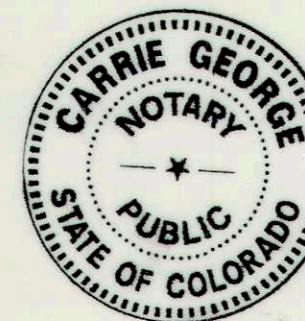
BY:

NOTARY PUBLIC

STATE OF COLORADO }
COUNTY OF Summit } SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF November, 2012 BY Paul Stashick, AS VP of development OF CLUB VISTA PROPERTIES II, LLC.

WITNESS MY HAND AND OFFICIAL SEAL



Carrie George
NOTARY PUBLIC
MY COMMISSION EXPIRES: 10/13/2014

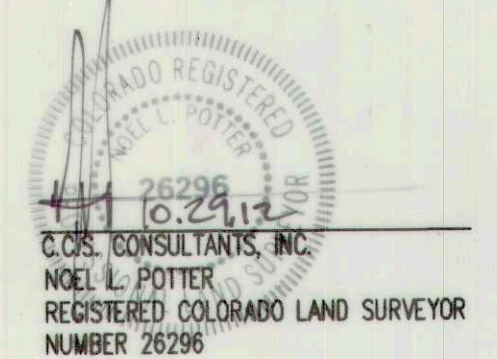
PLAT NOTES:

PURSUANT TO THE AGREEMENT IN LIEU OF CONDEMNATION AND AMENDMENT OF PRE-EXISTING AGREEMENTS DATED MARCH 29, 2000, AND RECORDED ON APRIL 10, 2000, AT BOOK 692, PAGE 92 OF THE RECORDS OF THE GILPIN COUNTY CLERK AND RECORDER (THE "2000 AGREEMENT"), BETWEEN THE CITY AND CLUB VISTA PROPERTIES II, LLC, THE FOLLOWING NOTES ARE MADE A PART OF THIS PLAT:

1. CONTEMPORANEOUSLY WITH THE FILING OF THIS PLAT, CLUB VISTA PROPERTIES II, LLC HAS CONVEYED TO THE CITY OF BLACK HAWK CERTAIN PARCELS DEPICTED ON THIS PLAT AND DESCRIBED MORE PARTICULARLY IN THAT GENERAL WARRANTY DEED DATED THE 21ST DAY OF MAY, 2012, AND RECORDED AT RECEPTION NUMBER 146438, IN THE RECORDS OF THE GILPIN COUNTY CLERK AND RECORDER (THE "SETTLEMENT PROPERTY"). THE CITY HEREBY AGREES, THE CONVEYANCE OF THE SETTLEMENT PROPERTY BY CLUB VISTA TO THE CITY CONSTITUTES FULL SATISFACTION OF CLUB VISTA'S OBLIGATION TO CONSTRUCT "PARKING LOT A" UNDER THE TERMS AND CONDITIONS OF THE 2000 AGREEMENT, AND THE "FINAL SETTLEMENT" (AS THAT TERM IS DEFINED IN THE 2000 AGREEMENT) AND ALL RELATED AMENDMENTS, ADDITIONS, AND MODIFICATIONS THERETO. THE CITY ACKNOWLEDGES AND AGREES THAT BY ACCEPTING THE CONVEYANCE OF THE SETTLEMENT PROPERTY, CLUB VISTA SHALL HAVE NO FURTHER OBLIGATION WITH REGARD TO THE CONSTRUCTION, DEVELOPMENT, APPROVAL, OR CONVEYANCE, OF "PARKING LOT A". NOTHING HEREIN SHALL BE DEEMED TO PRECLUDE OR PREVENT THE OWNER AND THE CITY OF BLACK HAWK FROM FURTHER AMENDING OR ALTERING ANY OTHER OBLIGATIONS UNDER THE FINAL SETTLEMENT, OR ITS RELATED DOCUMENTS, BY MUTUAL AGREEMENT. THIS PLAT NOTE AND AGREEMENT SHALL INURE TO THE BENEFIT OF AND BIND ALL SUCCESSORS, HEIRS AND ASSIGNS OF CLUB VISTA AND THE CITY.
2. A PORTION OF THE PROPERTY DESCRIBED BY THIS PLAT IS SUBJECT TO THAT LEASE BACK OF RETURNED PARKING LANDS DATED AUGUST 30, 2000, FOR THE BENEFIT OF THE CITY OF BLACK HAWK, RECORDED AT BOOK 701 PAGE 355 IN THE RECORDS OF THE GILPIN COUNTY CLERK AND RECORDER ("LEASE"). THE LEASE PROVIDED THAT THE PROPERTY WOULD BE SUBJECT TO THE LEASE UNTIL SUCH TIME AS "PARKING LOT A" WAS CONSTRUCTED TO THE CITY'S SATISFACTION. NOTWITHSTANDING THE FACT THAT THE CITY HAS RELEASED CLUB VISTA, AND ITS SUCCESSORS, HEIRS AND ASSIGNS FROM ANY FURTHER OBLIGATION TO CONSTRUCT PARKING LOT A, CLUB VISTA AGREES THAT THE LEASE WILL REMAIN IN EFFECT UNTIL SUCH TIME AS CLUB VISTA DETERMINES, IN ITS REASONABLE DISCRETION, AFTER RECEIVING LAND USE APPROVAL(S) FROM THE CITY, THAT THE LEASE INTERFERES WITH CLUB VISTA'S DEVELOPMENT, USE OR ENJOYMENT OF THE PROPERTY, OR UNTIL SUCH TIME AS ALTERNATIVE PARKING FACILITIES ARE DEVELOPED BY THE CITY, WHICHEVER SHALL FIRST OCCUR, IN WHICH EVENT THE LEASE WILL BE TERMINATED. THE CITY AGREES THAT THE EXISTENCE OR TERMINATION OF THE LEASE OR THE LACK OF ANY ALTERNATIVE PARKING FACILITIES TO REPLACE THOSE PROVIDED UNDER THE LEASE SHALL NOT BE A BASIS FOR WITHHOLDING ANY LAND USE APPROVAL(S) FOR THE CLUB VISTA PROPERTY. IN THE EVENT OF TERMINATION, THE CITY OR CLUB VISTA, AS THE CASE MAY BE, SHALL PROVIDE A MINIMUM OF THIRTY (30) DAYS WRITTEN NOTICE OF TERMINATION TO THE OTHER PARTY, AFTER WHICH TIME, A WRITTEN TERMINATION OF LEASE WILL BE RECORDED IN THE RECORDS OF THE GILPIN COUNTY CLERK AND RECORDER.
3. THE HELPAD LICENSE USE IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT LICENSE AGREEMENT FOR HELPAD DATED 2012, AND RECORDED CONTEMPORANEOUSLY WITH THIS PLAT.
4. THE PURPOSE OF THIS MINOR SUBDIVISION PLAT IS TO RECONFIGURE LOT AND TRACT LINES AS SHOWN HEREON, PURSUANT TO C.R.S. 31-23-201, ET SEQ., AND CHAPTER 17 OF THE CITY OF BLACK HAWK MUNICIPAL CODE. NOTHING IN THE APPROVAL OF THIS PLAT SHALL ALLOW, PERMIT, OR CAUSE TO BE ALLOWED OR PERMITTED ANY DEVELOPMENT OR CONSTRUCTION ON ANY LOT HEREON WITHOUT A SUBSEQUENT LAND DEVELOPMENT APPLICATION AND APPROVAL THAT INCLUDES, AT A MINIMUM, PROVISIONS FOR THE CONSTRUCTION OF NECESSARY PUBLIC IMPROVEMENTS AND OTHER CONDITIONS OF APPROVAL AS DETERMINED BY THE BOARD OF ALDERMEN, INCLUDING AT A MINIMUM THOSE PROVISIONS REQUIRED BY 17-63 AND 17-64 OF THE CITY OF BLACK HAWK MUNICIPAL CODE, AS THE SAME MAY BE AMENDED FROM TIME TO TIME. NO CONSTRUCTION OF ANY TYPE SHALL OCCUR ON THE PROPERTY THAT IS PLATTED HEREON UNTIL A SUBSEQUENT AGREEMENT HAS BEEN REACHED BETWEEN THE SUBDIVIDER, OR ITS SUCCESSOR IN INTEREST, AND THE CITY REGARDING, AT A MINIMUM, THE NECESSARY PUBLIC IMPROVEMENTS, AND A FINANCIAL GUARANTEE APPROVED BY THE CITY FOR SAID PUBLIC IMPROVEMENTS.
5. TRACT A IS DEDICATED BY THIS PLAT TO THE CITY OF BLACK HAWK FOR ROADWAY PURPOSES.
6. ALL BEARINGS CONTAINED HEREIN ARE BASED UPON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN, MONUMENTED AT THE SOUTH QUARTER CORNER AND THE SOUTHWEST CORNER WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP AND MONUMENT, MARKED DEPARTMENT OF THE INTERIOR - BUREAU OF LAND MANAGEMENT 1979, ASSUMING TO BEAR N 89°07'56" W.
7. THE LIMITS OF THE 100-YEAR FLOOD PLAIN DO NOT EXIST WITHIN THE BOUNDARIES OF THIS SUBDIVISION.
8. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
9. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
10. ● = SET NO. 4 REBAR WITH 1" PLASTIC CAP CCS INC. PLS 26296, UNLESS OTHERWISE NOTED.
11. THE SURVEY REPRESENTED BY THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY C.C.S. CONSULTANTS, INC. TO DETERMINE EASEMENTS OR RIGHT OF WAY OF RECORD.
12. ACREAGE CALCULATIONS ARE BASED UPON THE PERIMETER BOUNDARY AS SHOWN HEREON.
13. C.C.S. CONSULTANTS, INC. HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS RECORDED/UNRECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

SURVEYOR'S CERTIFICATE:

I, NOEL L. POTTER, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF MINERS' MESA SUBDIVISION FILING NO. 4, WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION DURING APRIL, 2012 AND THAT THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION AND THE SURVEY THEREOF.



MAYOR'S CERTIFICATE:

APPROVED AND ACCEPTED THIS 14 DAY OF November, 2012 BY THE BOARD OF ALDERMEN OF THE CITY OF BLACK HAWK, SITUATED IN GILPIN COUNTY, COLORADO. THIS APPROVAL DOES NOT GUARANTEE THAT THE SIZE OR SOIL CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT CAN BE ISSUED.

CITY OF BLACK HAWK

ATTEST:

Jeanie Magno
JEANIE MAGNO, CITY CLERK

BY: *David D. Spellman*
DAVID D. SPELLMAN, MAYOR

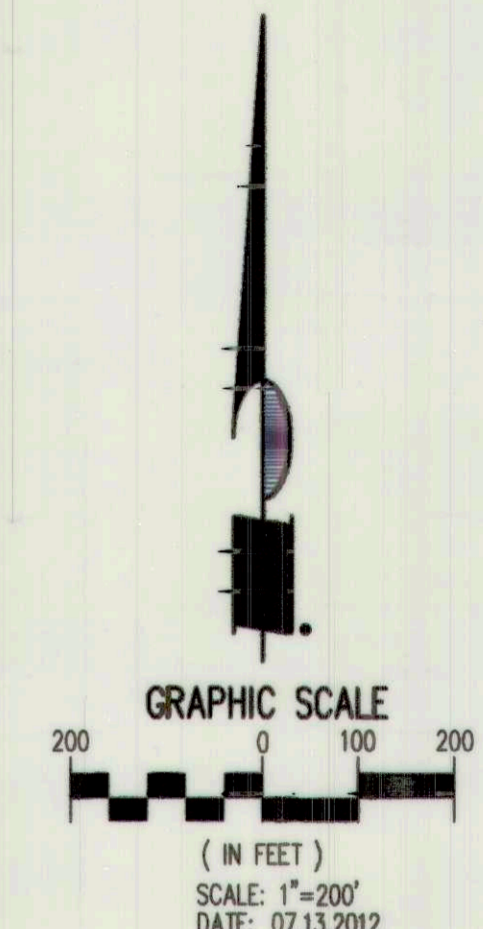
CLERK AND RECORDER:

C.C.S. CONSULTANTS, INC.
4860 Robb Street, Suite 206
Wheat Ridge, Colorado 80033
Phone: 303-403-4706, Fax: 303-403-0800

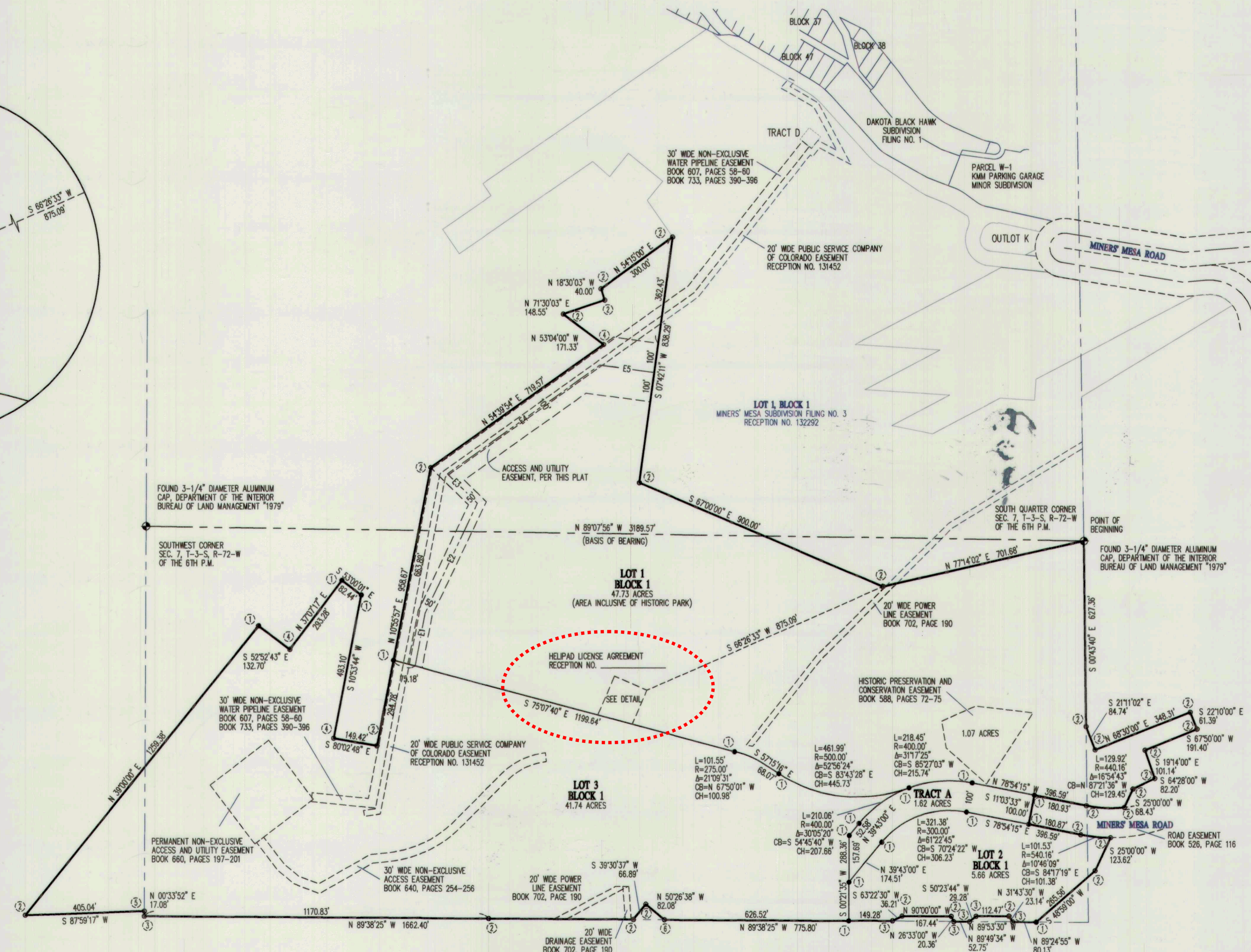
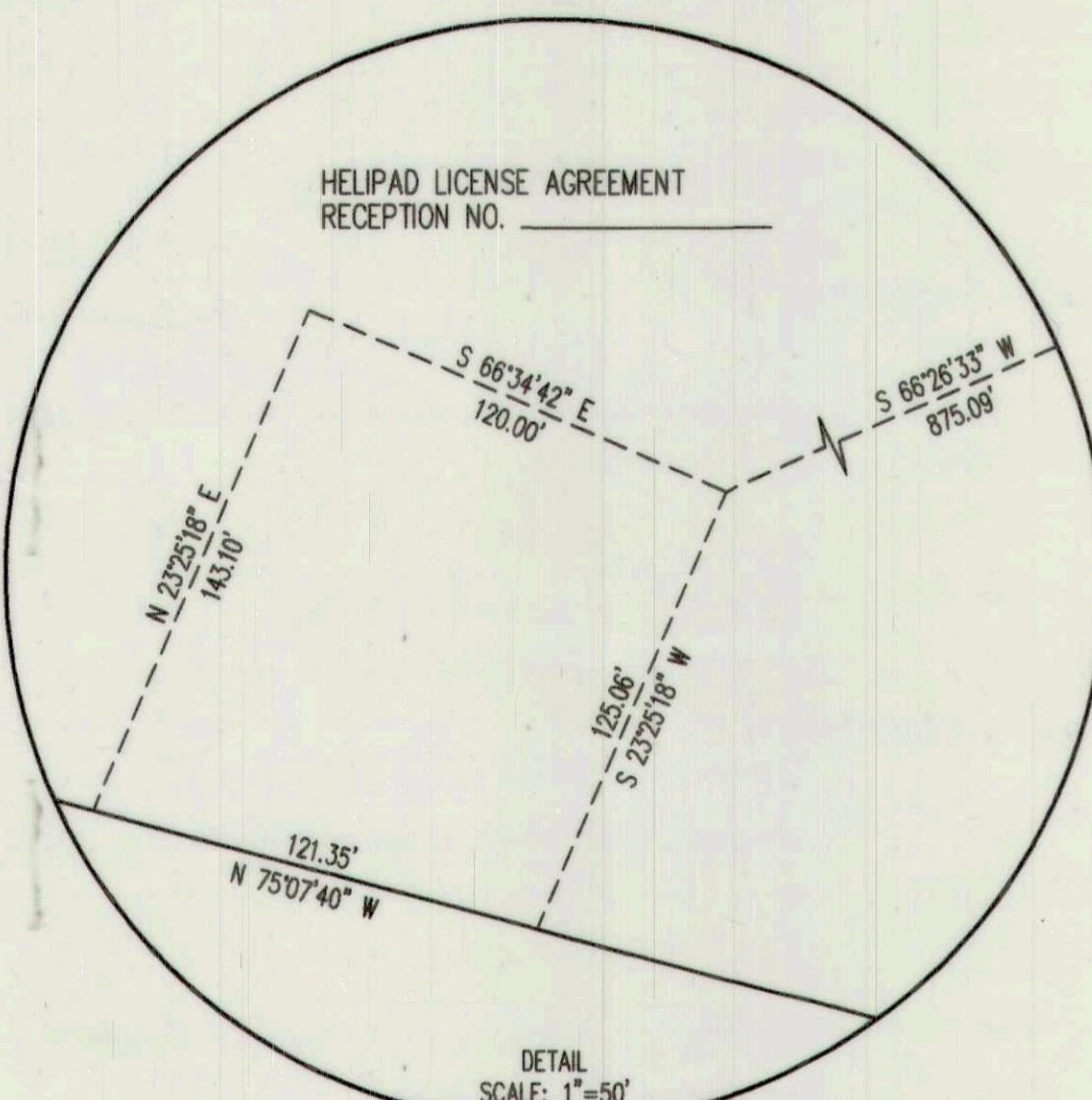
MINERS' MESA SUBDIVISION FILING NO. 4

MINOR SUBDIVISION PLAT

A RESUBDIVISION OF LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 2 AND LOT 2, BLOCK 1, MINERS' MESA SUBDIVISION FILING NO. 3, LOCATED WITHIN THE SOUTH HALF OF SECTION 7, THE NORTH HALF OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 72 WEST AND THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 73 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO
SHEET 2 OF 2



EASEMENT TABLE		
LINE	BEARING	LENGTH
E1	N 10°55'57" E	182.26'
E2	N 25°31'32" E	411.70'
E3	N 45°33'02" W	142.91'
E4	N 54°39'54" E	634.72'
E5	S 82°17'49" E	186.61'



- ① = FOUND OR SET NO. 4 REBAR AND CAP, PLS 26296
- ② = FOUND NO. 5 REBAR AND CAP, PLS 10945
- ③ = FOUND MONUMENT AND CAP MARKED, BLM
- ④ = FOUND STONE WITH MARKINGS
- ⑤ = FOUND REBAR AND CAP PLS 11010
- ⑥ = FOUND REBAR AND CAP PLS 15894

CLERK AND RECORDER.

C.C.S. CONSULTANTS, INC.
4880 Robb Street, Suite 208
Wheat Ridge, Colorado 80033
Phone: 303-403-4706, Fax: 303-403-0800

RESOLUTION 39-2020
A RESOLUTION
APPROVING THE LICENSE
AGREEMENT BETWEEN
THE CITY OF BLACK
HAWK, COLORADO AND
ISLE OF CAPRI BLACK
HAWK, LLC

STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK

Resolution No. 39-2020

**TITLE: A RESOLUTION APPROVING THE LICENSE AGREEMENT
BETWEEN THE CITY OF BLACK HAWK, COLORADO AND ISLE
OF CAPRI BLACK HAWK, LLC**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
BLACK HAWK, COLORADO, THAT:

Section 1. The License Agreement by and between the City of Black Hawk and Isle of
Capri Black Hawk, LLC, attached hereto as **Exhibit A**, is hereby approved, and the Mayor is
authorized to execute the same on behalf of the City.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

LICENSE

THIS LICENSE is made and entered into this ____ day of _____, 2020, by and between the CITY OF BLACK HAWK, Colorado whose address is 201 Selak Street, Black Hawk, CO 80422 (the "City") and ISLE OF CAPRI BLACK HAWK LLC, owner of the real property whose address is 401 Main Street, Black Hawk, CO 80422 ("Licensee").

1. PROPERTY LICENSED. The property that is licensed for the use and the term provided for in this license is described in Exhibit A, which is attached hereto and incorporated by this reference ("Property Licensed"). The Property Licensed for the construction and use of a monument sign located in Miners Mesa Road, described herein, is subject to all easements and rights-of-way of record.

2. RELOCATION. In the event the construction or reconstruction of any roadways, or the construction, reconstruction or repair of any of the City's property necessitates the relocation or removal of the structure(s) or fixtures(s) described in paragraph 5 herein, then Licensee shall, at its sole cost and expense, timely perform or cause the performance of such relocation or removal of the structures(s) or fixture(s).

3. INSURANCE. Licensee shall obtain for itself, its agents, successors, assigns, lessees, licensees and agents, necessary and adequate workman's compensation insurance, personal injury insurance, and property damage insurance, with limits commensurate with the hazards and risks associated with the use of the Property Licensed, but in no event less than the liability limits established by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.*, as now in effect or as hereinafter amended, and a deductible of not less than one hundred thousand dollars (\$100,000.00). Neither Licensee nor its agents, successors and assigns shall commence any construction, placement, operation or maintenance of the fixture or structure on the Property Licensed until it has obtained all insurance required under this section and shall have filed a certificate of insurance or a certified copy of the insurance policy with the City. Each insurance policy shall list the City as an additional named insured and shall contain a clause providing that coverage shall not be cancelled by the insurance company without thirty (30) days written notice to the City of intention to cancel.

4. UTILITIES. Licensee covenants and agrees to pay all charges for electric power and other utilities assessed, levied or incurred on the Property Licensed by reason of the operation of the monument sign during the term of this license or any renewal thereof.

5. INSTALLATION, MAINTENANCE, REPAIR AND ALTERATIONS. Licensee shall initially install the monument sign on the Property Licensed in the manner specified by the Public Works Director. After initial installation, Licensee covenants and agrees not to make or permit to be made any alterations in, or additions to, the Property Licensed without the prior written consent of the Public Works Director and to keep the improvements thereon including wiring, if appropriate, in good repair and in a condition

that will not interfere with the proper functioning of the Property Licensed, at the expense of Licensee; ordinary wear and tear and loss by fire, flood, or act of God excepted.

6. USE. Licensee covenants and agrees that it shall utilize the Property Licensed to Licensee and for no other purpose and not to use the Property Licensed or permit it to be used for purposes prohibited by the laws of the applicable United States, State of Colorado, or any political subdivision thereof.

7. RE-ENTRY. Licensee covenants and agrees to permit the City or its duly authorized representatives to inspect the Property Licensed and to do such other acts and things, as it deems necessary for the protection of its interests therein.

8. NOTICE. Any notice required under this License shall be in writing and mailed by certified mail to the respective parties at the address hereinabove given. The Public Works Director shall be the representative of the City to accept or give any approval, notice or the like provided hereunder. In the event Licensee should change the address hereinabove given during the term of this License, Licensee shall notify the City in writing of such change of address:

The City: Tom Isbester
 Director of Public Works
 City of Black Hawk
 P.O. Box 68
 Black Hawk, CO 80422

Licensee: Isle of Capri Black Hawk LLC
 P.O. Box 543185
 Dallas, TX 75354

9. NO COVENANT OF TITLE OR QUIET POSSESSION. The rights granted herein are without covenant of title or warranty of quiet possession of the Property Licensed and no water or water rights are granted by this License.

10. SUCCESSORS AND ASSIGNS. This License shall insure to the benefit of, and be binding upon, the successors and assigns of the parties.

11. ASSIGNMENT OR SUB-LEASE. Licensee covenants and agrees not to assign this License or to sublet any part of the Property Licensed without first obtaining the written consent of the City, which will not be unreasonably withheld.

12. PROPERTY LICENSED TAKEN "AS IS." Licensee understands and agrees that the Property Licensed is licensed "as is." The City makes no warranty, written or implied, that the Property Licensed is fit for any purpose or that it meets any federal, state, county or local law, ordinance or regulation applying to the Property Licensed.

13. **LIABILITY AND INDEMNIFICATION.** The City shall not be liable for any loss, injury, death or damage to any person or personal property which may arise from the Licensee's use or condition, caused by Licensee's use, of the Property Licensed including, but not limited to, loss, injury, death, or damage resulting from ice, water, rain, snow, gas, electrical wires, fire, equipment malfunctions, faulty installation, or theft. Licensee hereby expressly agrees, to the extent permitted by law, to defend, indemnify and hold harmless the City, its officers, agents, employees and insurers against any liability, loss, damage, demand, action, cause of action or expense of whatever nature (including court costs and attorney fees) which may result from any loss, injury, death or damage allegedly sustained by any person, firm, corporation or other entity which arises out of or is caused by reason of Licensee's negligent use of the Property Licensed or Licensee's failure to fulfill the terms and conditions of the License.

14. **RESERVATION FOR COUNCIL USE.** This License is made under and conformable to the provisions of all City of Black Hawk regulations insofar as applicable. Said provisions are incorporated herein and made part hereof by this reference and shall supersede any apparently conflicting provisions otherwise contained in the License. The City reserves the right to make full use of the Property Licensed as may be necessary or convenient in the operation of the public streets and the City retains all rights to operate, maintain, install, repair, remove or relocate any of its facilities located within the Property Licensed at any time and in such a manner as it deems necessary.

15. **TERMINATION.** This License Agreement may be terminated by the City at any time upon thirty (30) days written notice to Licensee. If the City terminates this License due to a default by Licensee, Licensee shall be responsible for removing the signs on the Property Licensed.

16. **VENUE.** For the resolution of any dispute arising hereunder, venue shall be in the courts of Gilpin County, State of Colorado.

IN WITNESS WHEREOF, the parties hereto each herewith subscribe the same in duplicate.

LICENSEE:

Isle of Capri Black Hawk, LLC

By: [Signature]
Name: Kenneth J. Ostempowski
Title: VP/GM

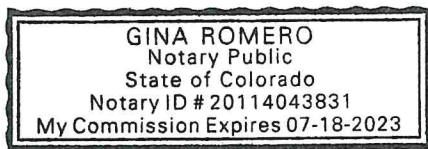
STATE OF Colorado)
COUNTY OF Gilpin) ss.
)

The foregoing instrument was subscribed, sworn to and acknowledged before me this
6th day of May, 20 20, by
Kenneth J. Ostempowski as VP/GM of
Isle Black Hawk

My commission expires: July 18, 2023

(S E A L)

[Signature]
Notary Public



CITY OF BLACK HAWK, COLORADO

By: _____
David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, City Clerk

EXHIBIT A

A SIGN EASEMENT, LOCATED WITHIN MINERS' MESA ROAD RIGHT-OF-WAY
BEING A PART OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO

DESCRIPTION:

A SIGN EASEMENT, LOCATED WITHIN THE MINERS' MESA ROAD RIGHT-OF-WAY, BEING A PART OF
SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BLACK
HAWK, COUNTY OF GILPIN, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A WESTERLY CORNER OF ISLE OF CAPRI SUBDIVISION PACKAGE NO. 1 RECORDED
JULY 20, 1998 UNDER RECEPTION NO. 96619 IN THE RECORDS OF THE GILPIN COUNTY CLERK AND
RECORDER'S OFFICE WHENCE THE MOST WESTERLY LINE THEREOF HAS A PLATTED BEARING OF
N30°32'16"E A DISTANCE OF 131.40 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE N18°33'16"E A DISTANCE OF 96.97 FEET TO THE **POINT OF BEGINNING**;

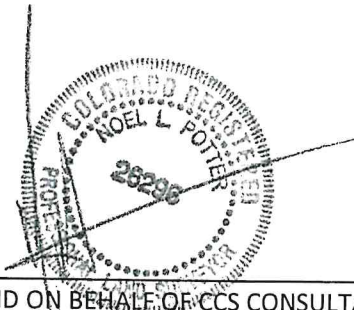
THENCE N01°29'34"W A DISTANCE OF 5.50 FEET;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 9.90 FEET, HAVING A RADIUS OF
27.00 FEET, A CENTRAL ANGLE OF 21°00'04", AND A CHORD BEARING OF S80°59'32"E A DISTANCE OF
9.84 FEET TO A POINT OF NON-TANGENCY;

THENCE S19°30'30"W A DISTANCE OF 5.50 FEET;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 7.88 FEET, HAVING A RADIUS OF
21.50 FEET, A CENTRAL ANGLE OF 21°00'04", AND A CHORD BEARING OF N80°59'32"W A DISTANCE OF
7.84 FEET TO THE **POINT OF BEGINNING**.

CONTAINING A CALCULATED AREA OF 49 SQUARE FEET, MORE OR LESS.

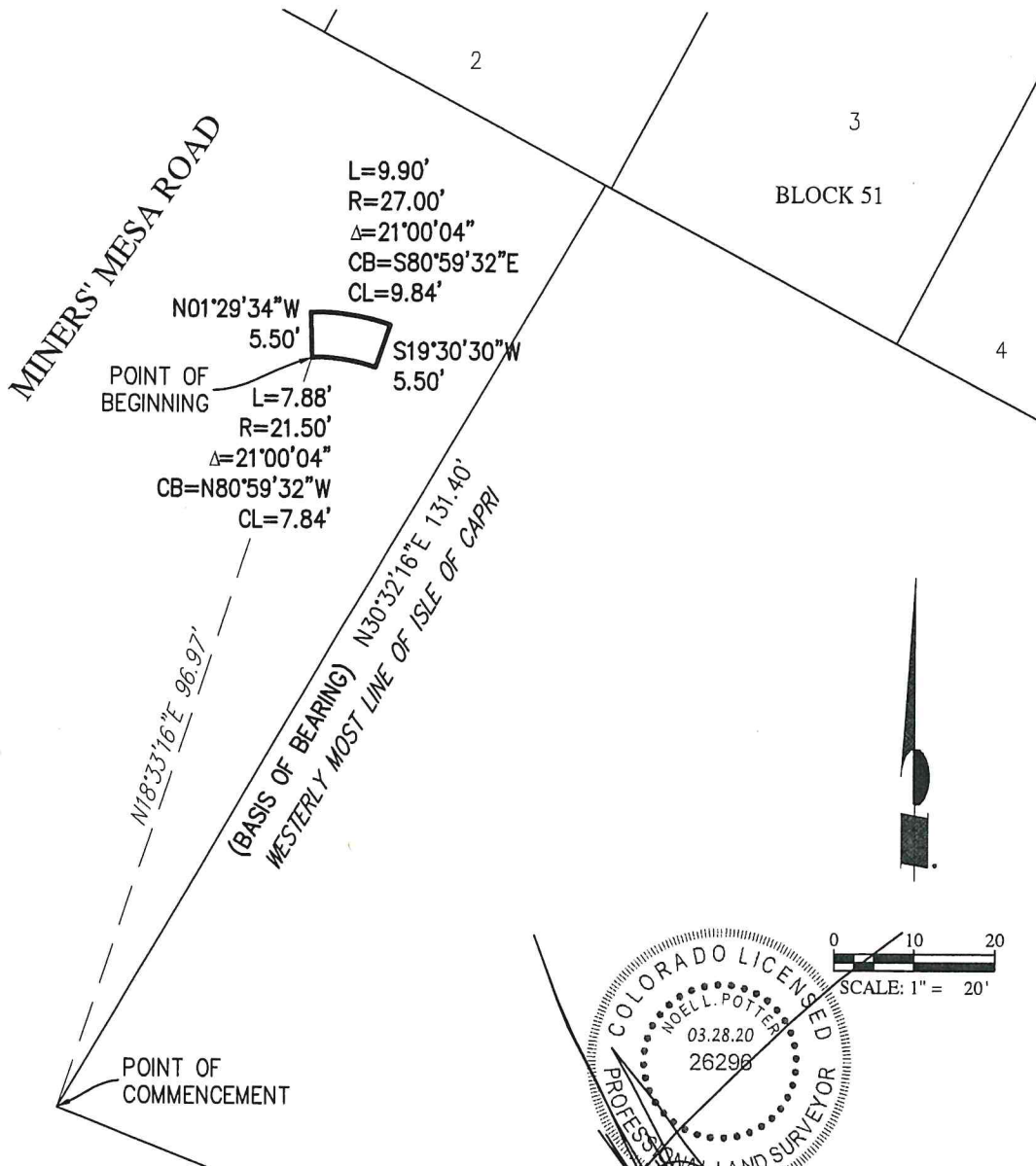


FOR AND ON BEHALF OF CCS CONSULTANTS, INC.
NOEL L. POTTER
P.L.S. NO. 26296
4860 ROBB STREET
WHEAT RIDGE, CO 80033

EXHIBIT A

SHEET 2 OF 2

A SIGN EASEMENT, LOCATED WITHIN MINER'S MESA ROAD RIGHT-OF-WAY
A PART OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 72 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF BLACK HAWK, COUNTY OF GILPIN, STATE OF COLORADO



NOTE: THIS EXHIBIT DOES NOT REPRESENT
A MONUMENTED LAND SURVEY. IT IS
INTENDED ONLY AS A GRAPHIC DEPICTION
OF THE ATTACHED LEGAL DESCRIPTION.

C.C.S. CONSULTANTS, INC.
4860 Robb Street, Suite 206 2893 N. Monroe Ave
Wheat Ridge, CO 80033 Loveland, CO 80538
Phone: 303.403.4706 Phone: 970.635.3031



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
05/05/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Insurance Services West, Inc. Los Angeles CA Office 707 Wilshire Boulevard Suite 2600 Los Angeles CA 90017-0460 USA	CONTACT NAME:	
	PHONE (A/C. No. Ext): (866) 283-7122	FAX (A/C. No.): (800) 363-0105
INSURED Eldorado Resorts, Inc. 100 West Liberty Street Suite 1150 Reno, NV 89501	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
	NAIC #	
	INSURER A: ACE American Insurance Company	
	INSURER B:	
	INSURER C:	
INSURER D:		
INSURER E:		
INSURER F:		

Holder Identifier :

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS.

Limits shown are as requested

INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURED	SUBROGATION WAIVED	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	COMMERCIAL GENERAL LIABILITY			XSL G71448812 SIR applies per policy terms & conditions	05/01/2020	05/01/2021	EACH OCCURRENCE	3,000,000
	<input checked="" type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		DAMAGE TO RENTED PREMISES (Ea occurrence)				3,000,000	
			MED EXP (Any one person)				0	
			PERSONAL & ADV INJURY				3,000,000	
			GENERAL AGGREGATE				20,000,000	
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMP/OP AGG	6,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC							
	OTHER:							
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	
	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident)	
	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/> NON-OWNED AUTOS ONLY					PROPERTY DAMAGE (Per accident)	
	UMBRELLA LIAB	<input checked="" type="checkbox"/> OCCUR					EACH OCCURRENCE	
	EXCESS LIAB	<input type="checkbox"/> CLAIMS-MADE					AGGREGATE	
	DED <input checked="" type="checkbox"/> RETENTION \$25,000							
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			WCU C67455022	05/01/2020	05/01/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER	
	ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	N/A	SIR applies per policy terms & conditions			E.L. EACH ACCIDENT	1,500,000
							E.L. DISEASE-EA EMPLOYEE	1,500,000
							E.L. DISEASE-POLICY LIMIT	1,500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The certificate holder is included as Additional Insured in accordance with the policy provisions of the General Liability policy.

CERTIFICATE HOLDER**CANCELLATION**

City of Blackhawk 201 Selak Street Black Hawk CO 80422 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Aon Risk Insurance Services West, Inc.</i>



EVIDENCE OF COMMERCIAL PROPERTY INSURANCE

DATE (MM/DD/YYYY)
05/05/2020

THIS EVIDENCE OF COMMERCIAL PROPERTY INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE ADDITIONAL INTEREST NAMED BELOW. THIS EVIDENCE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS EVIDENCE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE ADDITIONAL INTEREST.

PRODUCER NAME, CONTACT PERSON AND ADDRESS Aon Risk Insurance Services West, Inc. Los Angeles CA Office 707 Wilshire Boulevard Suite 2600 Los Angeles CA 90017-0460 USA		PHONE (A/C, NO, Ext): (866) 283-7122	COMPANY NAME AND ADDRESS Various - See attached		NAIC NO:
FAX - (A/C, No): (800) 363-0105		E-MAIL ADDRESS:		IF MULTIPLE COMPANIES, COMPLETE SEPARATE FORM FOR EACH	
CODE:		SUB CODE:		POLICY TYPE Commercial Property	
AGENCY CUSTOMER ID #: 570000071561		LOAN NUMBER		POLICY NUMBER See Attached	
NAMED INSURED AND ADDRESS Eldorado Resorts, Inc. and its subsidiaries 100 West Liberty Street, Suite 1150 Reno, NV 89501		EFFECTIVE DATE 5/1/2020		EXPIRATION DATE 5/1/2021	CONTINUED UNTIL TERMINATED IF CHECKED <input type="checkbox"/>
ADDITIONAL NAMED INSURED(S)		THIS REPLACES PRIOR EVIDENCE DATED:			

PROPERTY INFORMATION (ACORD 101 may be attached if more space is required) ☒ BUILDING OR ☒ BUSINESS PERSONAL PROPERTYLOCATION/DESCRIPTION Re:
RE: Black Hawk Location TIV: \$338,924,728

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS EVIDENCE OF PROPERTY INSURANCE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COVERAGE INFORMATION		PERILS INSURED	BASIC	BROAD	X	SPECIAL
COMMERCIAL PROPERTY COVERAGE AMOUNT OF INSURANCE:		\$900,000,000		Loss Limit		DED: See Attached
<input checked="" type="checkbox"/> BUSINESS INCOME	<input checked="" type="checkbox"/> RENTAL VALUE	YES	NO	N/A	If YES, LIMIT: Included Actual Loss Sustained; # of months:	
BLANKET COVERAGE		X			If YES, indicate value(s) reported on property identified above Included	
TERRORISM COVERAGE			X		Attach signed Disclosure Notice / DEC	
IS THERE A TERRORISM-SPECIFIC EXCLUSION?		X				
IS DOMESTIC TERRORISM EXCLUDED?		X				
LIMITED FUNGUS COVERAGE		X			If YES, LIMIT: \$25,000,000 Excluded DED: See Attached	
FUNGUS EXCLUSION (If "YES", specify organization's form used)		X				
REPLACEMENT COST		X				
AGREED AMOUNT				X		
COINSURANCE			X		If YES, %	
EQUIPMENT BREAKDOWN (If Applicable)		X			If YES, LIMIT: Included DED: See Attached	
ORDINANCE OR LAW - Coverage for loss to undamaged portion of bldg		X			If YES, LIMIT: Included DED: See Attached	
- Demolition Costs		X			If YES, LIMIT: Included DED: See Attached	
- Incr. Cost of Construction		X			If YES, LIMIT: Included DED: See Attached	
EARTH MOVEMENT (If Applicable)		X			If YES, LIMIT: \$300,000,000 DED: See Attached	
FLOOD (If Applicable)		X			If YES, LIMIT: \$200,000,000 DED: See Attached	
WIND / HAIL INCL <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Subject to Different Provisions:			X		If YES, LIMIT: DED:	
NAMED STORM INCL <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Subject to Different Provisions:		X			If YES, LIMIT: \$200,000,000 Tier 1 and 2	
PERMISSION TO WAIVE SUBROGATION IN FAVOR OF MORTGAGE HOLDER PRIOR TO LOSS		X				

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

ADDITIONAL INTEREST

CONTRACT OF SALE	X	LENDER'S LOSS PAYABLE		LOSS PAYEE
MORTGAGEE				
NAME AND ADDRESS City of Blackhawk 201 Selak Street Black Hawk CO 80422 USA				
LENDER SERVICING AGENT NAME AND ADDRESS AUTHORIZED REPRESENTATIVE <i>Aon Risk Insurance Services West, Inc.</i>				



ADDITIONAL REMARKS SCHEDULE

Page _ of _

AGENCY Aon Risk Insurance Services West, Inc.		NAMED INSURED
POLICY NUMBER See Certificate Number:		Eldorado Resorts, Inc.
CARRIER See Certificate Number:	NAIC CODE	EFFECTIVE DATE:

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: ACORD 28 **FORM TITLE:** Evidence of Commercial Property Insurance

DEDUCTIBLES

The program deductible is USD 10,000,000 per Occurrence on all Property Damage losses, irrespective of the number of locations involved in a single Occurrence, other than as specified in the Schedule of Exceptions to the Program Deductible.

The program deductible is 2 days on all Time Element losses other than as specified in the Schedule of Exceptions to Program Deductible or as specified in the Protection and Preservation of Property (Time Element) Extension. Any coverage afforded hereunder in respect of Extended Period of Indemnity is not applicable to the calculation of this deductible. A day is 24 continuous hours.

All loss, damage or expense arising out of any one Occurrence for the following:

Earthquake Deductibles

USD 25,000,000 for loss or damage caused by Earthquake combined for Property Damage and Time Element

Flood Deductibles

USD 10,000,000 for loss or damage caused by Flood for Property Damage

USD 2,000,000 for loss or damage caused by Flood for Time Element

Named Storm Deductibles

USD 25,000,000 for loss or damage caused by Named Storm combined for Property Damage and Time Element except;



ADDITIONAL REMARKS SCHEDULE

AGENCY Aon Risk Insurance Services West, Inc.		NAMED INSURED Eldorado Resorts, Inc.	
POLICY NUMBER See Certificate Number:			
CARRIER See Certificate Number:	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,

FORM NUMBER: ACORD 28 FORM TITLE: Evidence of Commercial Property Insurance

Carrier Participation

POLICY TYPE	LAYER	EXCESS OF	CARRIER	POLICY NUMBER	PARTICIPATION
Primary \$25m					
Property	25,000,000	Deductibles	Canopus Insurance Services	B57744DAA	2.50%
Property	25,000,000	Deductibles	Cincinnati Global	PTNAM2005183	3.50%
Property	25,000,000	Deductibles	Allied World Assurance Company	P061501/001	5.00%
Primary \$50m					
Property	50,000,000	Deductibles	Brit Insurance, The Channel Syndicate	PTNAM2005059	6.00%
Property	50,000,000	Deductibles	Ironshore Specialty Insurance Company	1000410122-01	6.00%
Property	50,000,000	Deductibles	ACE American Insurance Company	CX D37839279 009	20.00%
Property	50,000,000	Deductibles	Westchester Surplus Lines Insurance Company	D36053422 014	7.00%
Property	50,000,000	Deductibles	Steadfast Insurance Company	CPP-0281480-03	5.00%
Primary \$100m					
Property	100,000,000	Deductibles	QBE European Company Operations, Argo Managing Agency Liited	PTNAM2005150	5.00%
Property	100,000,000	Deductibles	Liberty Specialty Markets Agency Limited (Liberty Specialty Markest Bermuda 50% and Oil		
Property	100,000,000	Deductibles	Casualty Insurance, Ltd 50%)	LSMAPR102026A	5.00%
Property	100,000,000	Deductibles	Everest Indemnity Insurance Company	RP1CF00174-201	10.00%
Property	100,000,000	Deductibles	Starr Surplus Lines Insurance Company	SLSTPTY11306120	15.00%
Primary \$300m					
Property	300,000,000	Deductibles	Lexington London	PTNAM2005157	10.00%
\$25M x \$25M					
Property	25,000,000	25,000,000	Brit Global Specialty USA	PD-11077-01	11.00%
\$50M x \$50M					
Property	50,000,000	50,000,000	Berkshire Hathaway Specialty Insurance	42-XPR-307662-02	13.75%
Property	50,000,000	50,000,000	Axis Surplus Insurance Company	EAF645825-20	10.00%
Property	50,000,000	50,000,000	Arch Specialty Insurance Company	ESP1002683-00	5.00%
\$100M x \$50M					
Property	100,000,000	50,000,000	Landmark American Insurance Company	LHD912955	5.00%
Property	100,000,000	50,000,000	Evanston Insurance Company	MKLIV14XP013991	7.50%
Property	100,000,000	50,000,000	Markel Bermuda Limited	1453647-11458-PRMAN-2020	7.50%
Property	100,000,000	50,000,000	Oil Casualty Insurance, Ltd.	P-101347-0520	3.75%
Property	100,000,000	50,000,000	Argo Re Ltd.	P143187	2.50%
\$50M xs \$100M					
Property	50,000,000	100,000,000	Fidelis Insurance Bermuda	B20R0069504P	8.00%
Property	50,000,000	100,000,000	Talbot Underwriting Ltd, Antares Syndicate #1274, AXIS Insurance, Hiscox Syndicates	PTNAM2005180	7.75%
Property	50,000,000	100,000,000	Hamilton Re, Ltd.	PX20-4029-01	5.00%
\$100m xs \$100m					
Property	100,000,000	100,000,000	Hallmark Specialty Insurance Company	73PRX20A5B6	20.00%
Property	100,000,000	100,000,000	Fidelis Insurance Bermuda	B20R001375P	5.00%
Property	100,000,000	100,000,000	Colony Insurance Company	XP200098	5.00%
Property	100,000,000	100,000,000	Ategrity Specialty Insurance Company	01-B-XP-P00004587-0	5.00%
Property	100,000,000	100,000,000	Aspen Specialty Insurance Company	PX00GH420	5.00%
Property	100,000,000	100,000,000	Houston Casualty Company (UK Branch)	PTMAM2005182	3.00%
\$50M x \$150M					
Property	50,000,000	150,000,000	Chubb Bermuda Insurance Ltd.	CAPRIO1232P11	21.00%
\$150M x \$150M					
Property	150,000,000	150,000,000	Great Lakes Insurance SE (Munich RE Group)	PTNAM2005169	10.00%
Property	150,000,000	150,000,000	Starr Surplus Lines Insurance Company	SLSTPTY11306120	11.00%
Property	150,000,000	150,000,000	Aviva Insurance Limited	PTNAM2005172	5.00%
\$100M x \$200M					
Property	100,000,000	200,000,000	XL Catlin Insurance Company UK Limited	PTNAM2005168	5.00%
Property	100,000,000	200,000,000	Chubb Bermuda Insurance Ltd.	CAPRIO1232P11	50.00%
Property	100,000,000	200,000,000	Atrium Underwriters Limited	PTNAM2005179	2.25%
Property	100,000,000	200,000,000	PartnerRe Ireland Insurance dac	PTNAM2005171	6.75%
\$600M x \$300M					
Property	600,000,000	300,000,000	Homeland Insurance Company of New York	795012340	8.00%
Property	600,000,000	300,000,000	Chubb Bermuda Insurance Ltd.	CAPRIO1232P11	92.00%
TOTAL LIMITS: \$900,000,000					

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: License Agreement for the Isle of Capri/Eldorado Casino Comprehensive Sign Plan (approved on August 14, 2019 by Resolution No. 50-2019).

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 39-2020, a Resolution approving a License Agreement for the Isle of Capri/Eldorado Casino Comprehensive Sign Plan

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

On August 14, 2019, the City Council passed Resolution No. 50-2019 conditionally approving an amendment to the Isle of Capri/Eldorado Casino Comprehensive Sign Plan (CSP). The original CSP was approved on June 24, 2014 by Resolution No. 45-2014. During review of the amendment to the CSP in 2019, it was discovered that the property line had not been included in the original CSP. Because the CSP amendment included a new monument sign and a new blade sign, City Council conditioned approval of the amended CSP on two items:

- A. *The property line must be added to the site plan of the Comprehensive Sign Plan, and specific dimensions shall be included indicating the distance from the property line to the façade of the building along Main Street, and the proposed setback from each property line to the sign face;*
- B. *If any signs are determined to be located in, or protrude upon, the City owned right-of-way, a License Agreement with the City of Black Hawk will be required prior to issuance of building permits for such signs, which License Agreement shall require separate City Council approval;*

The property line has been added to the amended CSP and it has been determined that the blade sign will not protrude into the Main Street right-of-way. However, the proposed monument sign will be located entirely in the Miners Mesa right-of-way and therefore requires a License Agreement.

The License Agreement has been prepared by staff, reviewed by the City Attorney and will be signed by the property owner prior to the May 13, 2020 City Council meeting. Exhibit A of the license agreement has been prepared and forwarded to staff by the applicant.

AGENDA DATE:

May 13, 2020

WORKSHOP DATE:

N/A

FUNDING SOURCE:

N/A

DEPARTMENT DIRECTOR APPROVAL:

[X]Yes []No



STAFF PERSON RESPONSIBLE:

Cynthia L. Linker
CP&D Director

DOCUMENTS ATTACHED:

1. Resolution 39-2020
2. License Agreement with Exhibit A
3. Isle of Capri/Eldorado Comprehensive Sign Plan Amendment dated May 10, 2019, revised March 31, 2020
4. Approved Resolution 50-2019

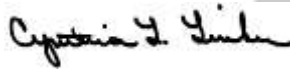
RECORD:

[] Yes [X] No

CITY ATTORNEY REVIEW:

[X] Yes [] N/A

SUBMITTED BY:



Cynthia L. Linker, CP&D Director

REVIEWED BY:



Stephen N. Cole, City Manager



Vincent Harris, AICP, Baseline Corporation

BLACK HAWK





ELDORADO

RESORT • CASINO • BLACK HAWK, COLORADO



AN ELDORADO RESORTS PROPERTY

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

May 10, 2019
Revised: March 31, 2020
RE: Rebranding Comprehensive Sign Package

Property Information

Isle of Capri Casino
An Eldorado Resorts Inc. Property
401 Main Street
Black Hawk, CO 80422
Property Owner:
Eldorado Resorts Inc.
Contact Number:
Rodney Turlan - GM
775 772-1109
Randee Bach - VP of Construction & Design
314 581-9746

Sign Package Prepared by:
YESCO, LLC
800 B Bennie Ln
Reno, NV 88512

COMPREHENSIVE SIGN PLAN CERTIFICATE OF COMPLETENESS

The original Comprehensive Sign Plan has been approved by the Black Hawk City Council on August 14, 2019.

Resolution No. 50-2019
This document represents the approved Comprehensive Sign Plan including any conditions by City Council.

Completeness certification by Baseline Corporation this 21st day of April, 2020.

Signature: Vincent Harris
Vincent Harris, AICP - Planning Director
On behalf of the City of Black Hawk



YESCO LLC

800-B Bennie Lane
Reno, NV 89512
Office: 775.359.3131

NV CONTRACTOR LICENSE NO.
0074289 / 0074290

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CLIENT:

ELDORADO

401 MAIN ST

ADDRESS:

BLACKHAWK, CO

CITY:

TOM WEATHERBY

ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE

[Signature] 4/10/19

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

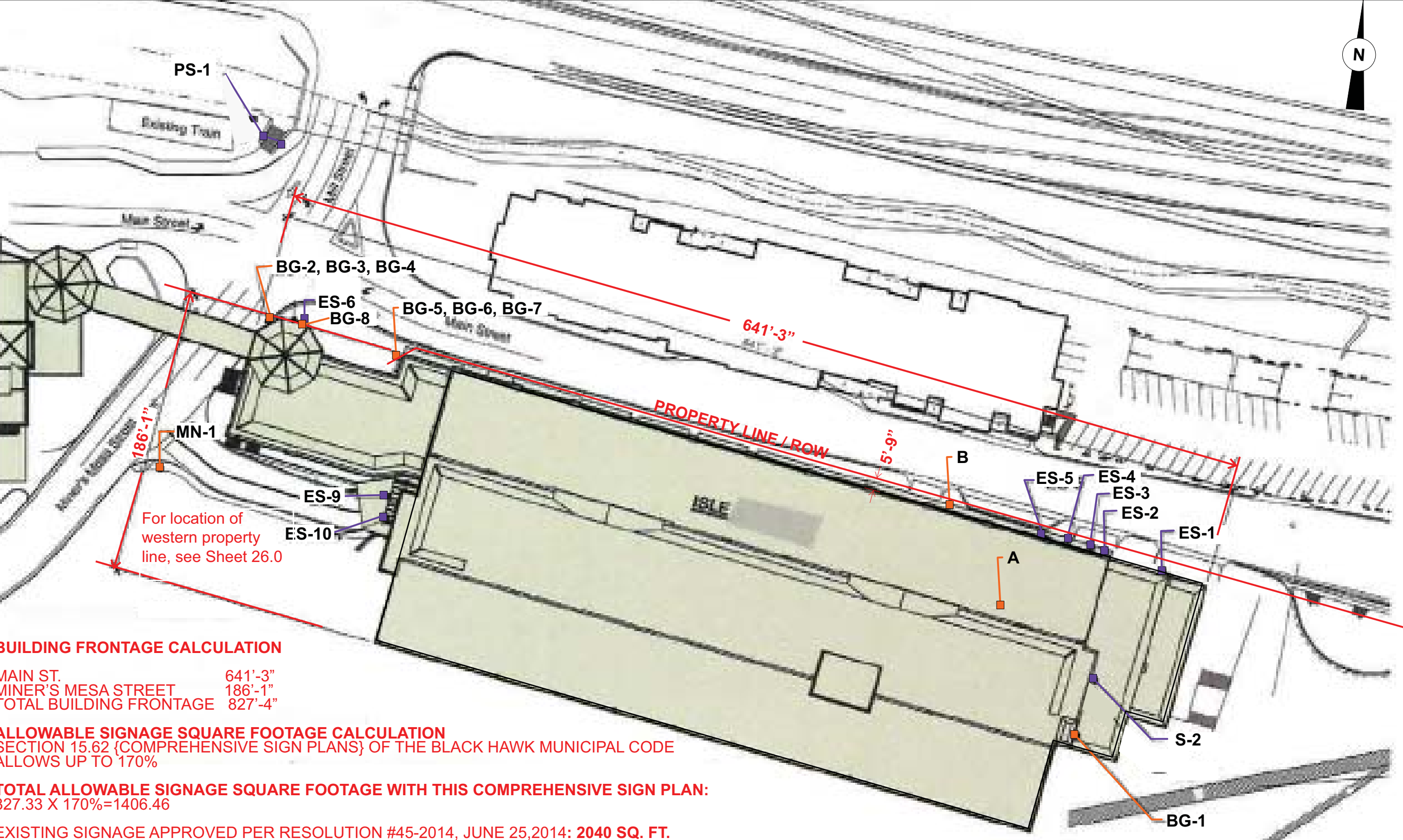
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SHEET
97 of 148 **CV-1**

NEW & EXISTING SIGNS

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



BUILDING FRONTAGE CALCULATION

MAIN ST. 641'-3"
MINER'S MESA STREET 186'-1"
TOTAL BUILDING FRONTAGE 827'-4"

ALLOWABLE SIGNAGE SQUARE FOOTAGE CALCULATION
SECTION 15.62 {COMPREHENSIVE SIGN PLANS} OF THE BLACK HAWK MUNICIPAL CODE
ALLOWS UP TO 170%

TOTAL ALLOWABLE SIGNAGE SQUARE FOOTAGE WITH THIS COMPREHENSIVE SIGN PLAN:
827.33 X 170%=1406.46

EXISTING SIGNAGE APPROVED PER RESOLUTION #45-2014, JUNE 25,2014: 2040 SQ. FT.
TOTAL EXISTING SIGN AREA TO REMAIN: 1421.55 SQ. FT.
TOTAL PROPOSED NEW SIGN AREA: 721.17 SQ. FT.
TOTAL EXISTING AND PROPOSED SIGN AREA: 2142.72 SQ. FT.

Resolution 29-2011 approved a variance for allowed sign area increasing the total allowed sign area to 2,401 square feet

LEGEND

- EXISTING SIGN TO REMAIN
- NEW SIGN


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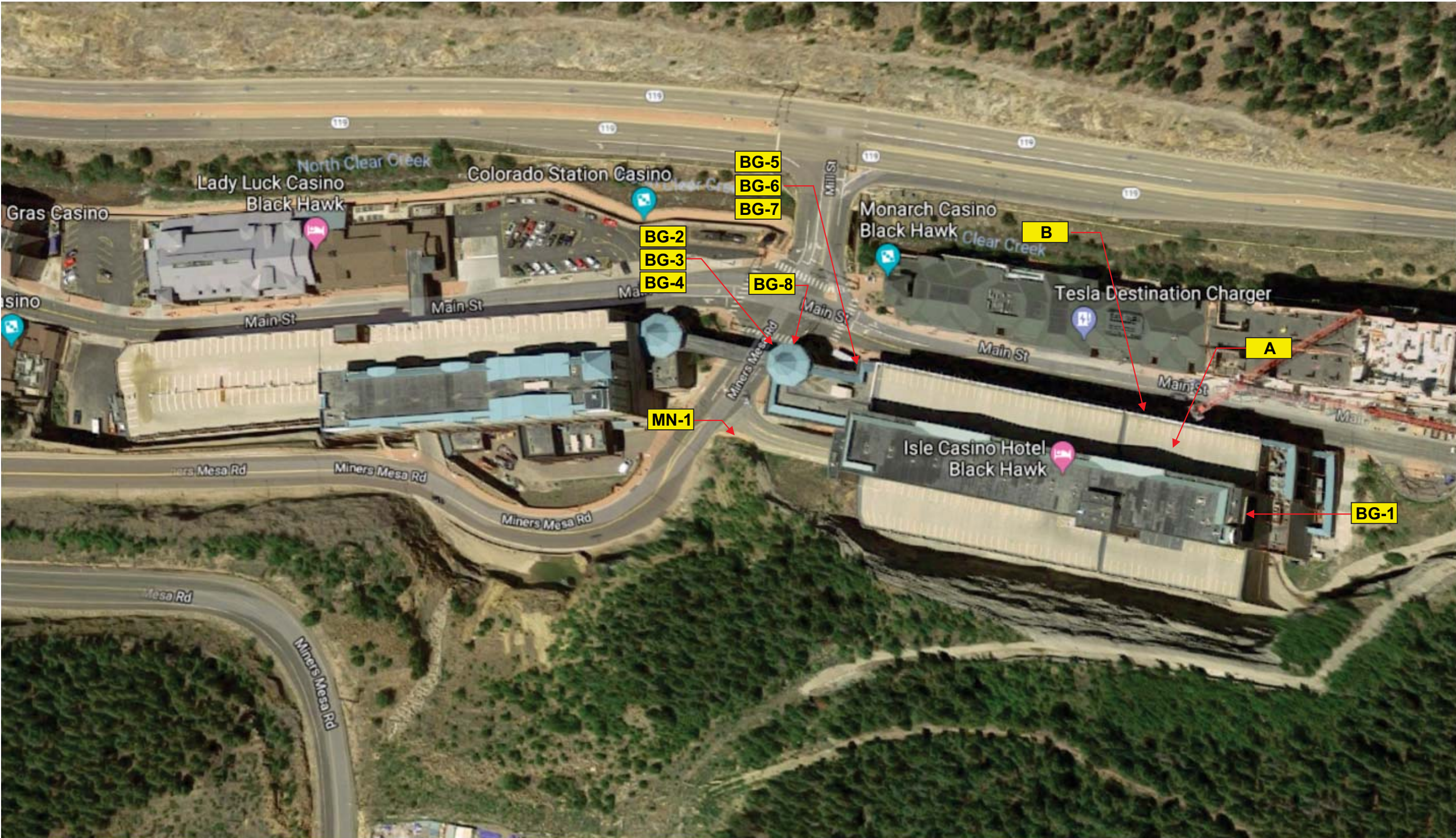
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98 of 146 1.0



SITE PLAN / NOT TO SCALE



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SHEET
99 of 146 2.0

NEW SIGNS

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

SIGNAGE	ALPHANUMERIC IDENTIFIER	COPY	SIZE	QTY	ILLUMINATION	ELEVATION	SQ FT
	BG-1	ELDORADO	9'-2 3/4" X 54'-3 3/4"	1	S14 LED LAMPS	EAST	500.67
	BG-2	ELDORADO RESORT CASINO	4'-8 1/2" X 16'-3 3/4"	1	INTERNAL	WEST	64.62
SELF PARK ⇨	BG-3	SELF PARK ➡	1'-7 3/4" X 13'-8 1/2"	1	INTERNAL	WEST	22.69
CASINO	BG-4	CASINO	2'-0" X 9'-11 1/2"	1	INTERNAL	WEST	19.92
↑ HOTEL	BG-5	↑ HOTEL	1'-8 1/4" X 9'-3"	1	INTERNAL	WEST	15.62
↑ VALET	BG-6	VALET	1'-8 1/4" X 8'-11"	1	INTERNAL	WEST	15.06
↑ SELF PARK	BG-7	↑ SELF PARK	3'-10 1/4" X 7'-10 1/2"	1	INTERNAL	WEST	23.19
	BG-8	ELDORADO	2'-3 3/4" X 13'-7 1/4"	1	INTERNAL	NORTH	31.36
	MN-1	SELF PARK ← EL DORADO → LADY LUCK	VARIOUS SEE SHEET 17.0	1	INTERNAL	RIGHT of WAY	17.84

SUB TOTAL SQUARE FEET OF NEW SIGNAGE

710.97



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




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ARCHIVE NUMBER

SHEET

00 of 1463.0

NEW SIGNS

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

SIGNAGE	ALPHANUMERIC IDENTIFIER	COPY	SIZE	QTY	ILLUMINATION	ELEVATION	SQ FT
	A	STARBUCKS LOGO	24" DIAMETER	1	INTERNAL	NORTH	3.14
	B	STARBUCKS LOGO	36" DIAMETER	1	INTERNAL	NORTH	7.06
TOTAL SQUARE FEET OF NEW SIGNAGE							721.17



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△ GIL SANCHEZ 3/19/20

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SHEET 1 OF 2

40

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EXISTING SIGNS TO REMAIN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

SIGNAGE	ALPHANUMERIC IDENTIFIER	COPY	SIZE	QTY	ILLUMINATION	ELEVATION	SQ FT
	S-2	VARIES	25'-0" X 50'-0"	1	INTERNAL	EAST	1250
	ES-1	ISLE HOTEL & CASINO VALET, SELF PARKING, & HOTEL CHECK-IN LADY LUCK CASINO & HOTEL	4'-10" X 6'-0"	1	INTERNAL	NORTH	29
	ES-2	VALET	1'-10" X 6'-0"	1	INTERNAL	NORTH	11
	ES-3	DO NOT ENTER	1'-3" X 7'-0"	1	NO	NORTH	8.75
	ES-4	PUBLIC PARKING CLEARANCE 7'-0"	1'-3" X 7'-0"	1	NO	NORTH	8.75
	ES-5	SELF PARK	1'-10" X 6'-0"	1	INTERNAL	NORTH	11
	ES-6	VARIES	6'-8" X 12'-10"	1	INTERNAL	CORNER OF MAIN ST & MINERS MESA ST.	85.55
	ES-9	DO NOT ENTER	1'-3" X 7'-0"	1	NO	WEST	8.75
	ES-10	CAUTION MERGING TRAFFIC	1'-3" X 7'-0"	1	NO	WEST	8.75

TOTAL SQUARE FEET OF EXISTING SIGNAGE 1421.55


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




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SHEET

02 of 146

5.0

EXISTING SIGNS TO REMAIN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

SIGNAGE	ALPHANUMERIC IDENTIFIER	COPY	SIZE	QTY	ILLUMINATION	COMMENT	SQ FT
	PS-1	WIN ME	2'-0" X 8'-0"	2	NO	DOES NOT COUNT TOWARD TOTAL SIGN AREA	32
TOTAL SQUARE FEET OF EXISTING SIGNAGE							1421.55



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BLACKHAWK, CO CITY:
TOM WEATHERBY ACCOUNT EXECUTIVE:

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SHEET
03 of 146 **6.0**

EXISTING SIGNS TO BE REMOVED

COMPREHENSIVE SIGN PLAN AMENDMENT 2019

SIGNAGE	ALPHANUMERIC IDENTIFIER	COPY	SIZE	QTY	ILLUMINATION	ELEVATION	SQ FT
	S-1	ISLE CASINO - HOTEL	24'-0" DIA.	1	INTERNAL	EAST	452
	ES-6	ISLE OF CAPRI	1'-10" X 12'-8"	1	INTERNAL	CORNER OF MAIN ST & MINERS MESA ST.	23.45
	ES-7	ISLE CASINO - HOTEL	12-'5" DIA.	1	INTERNAL	WEST	121
	ES-8	PARKING MINIMUM CLEARANCE 7'-0"	4'-0" X 7'-0"	1	INTERNAL	RIGHT of WAY	22
TOTAL SQUARE FEET OF EXISTING SIGNAGE TO BE REMOVED							618.45



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



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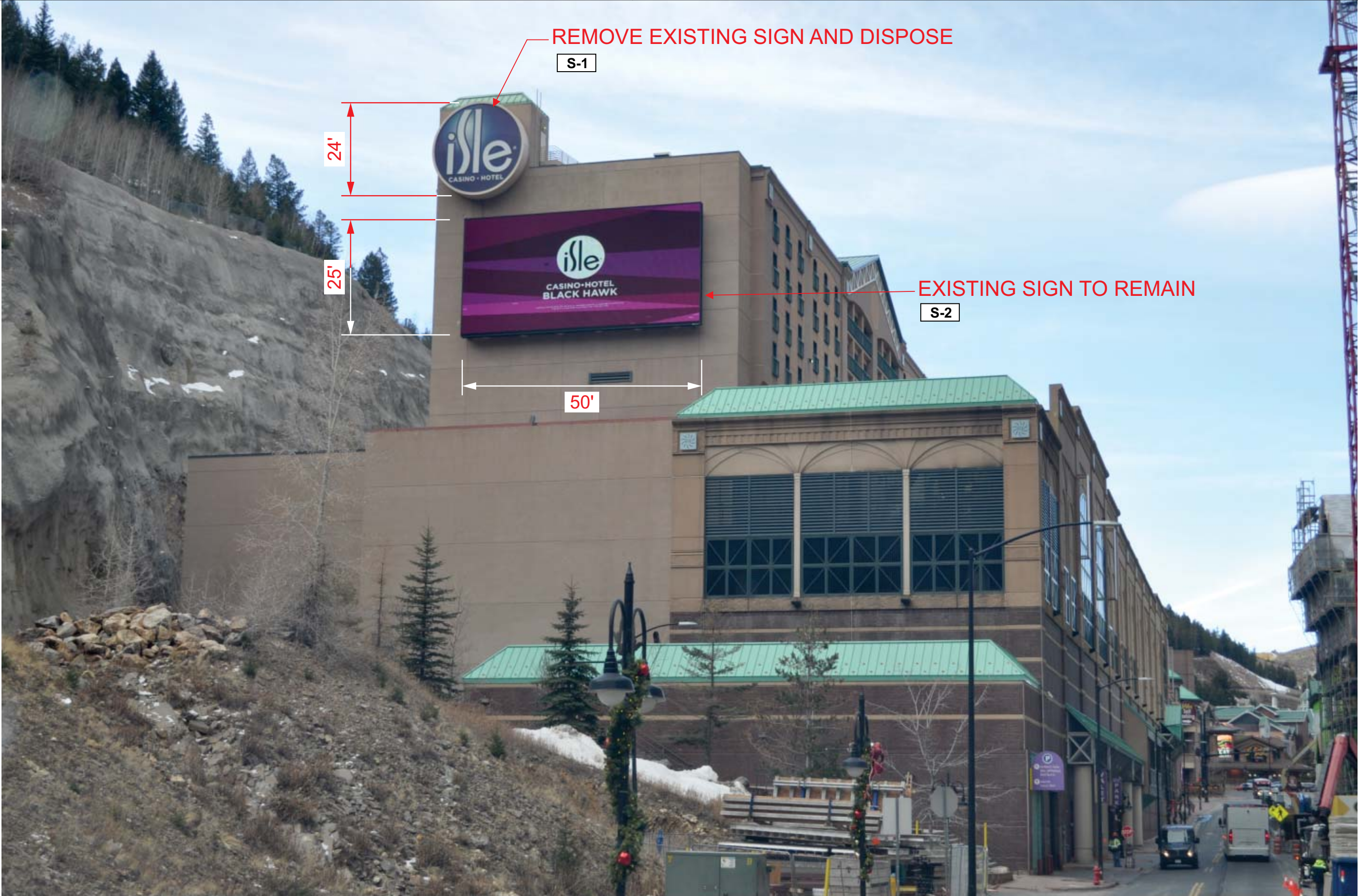
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04 of 146 **7.0**




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




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




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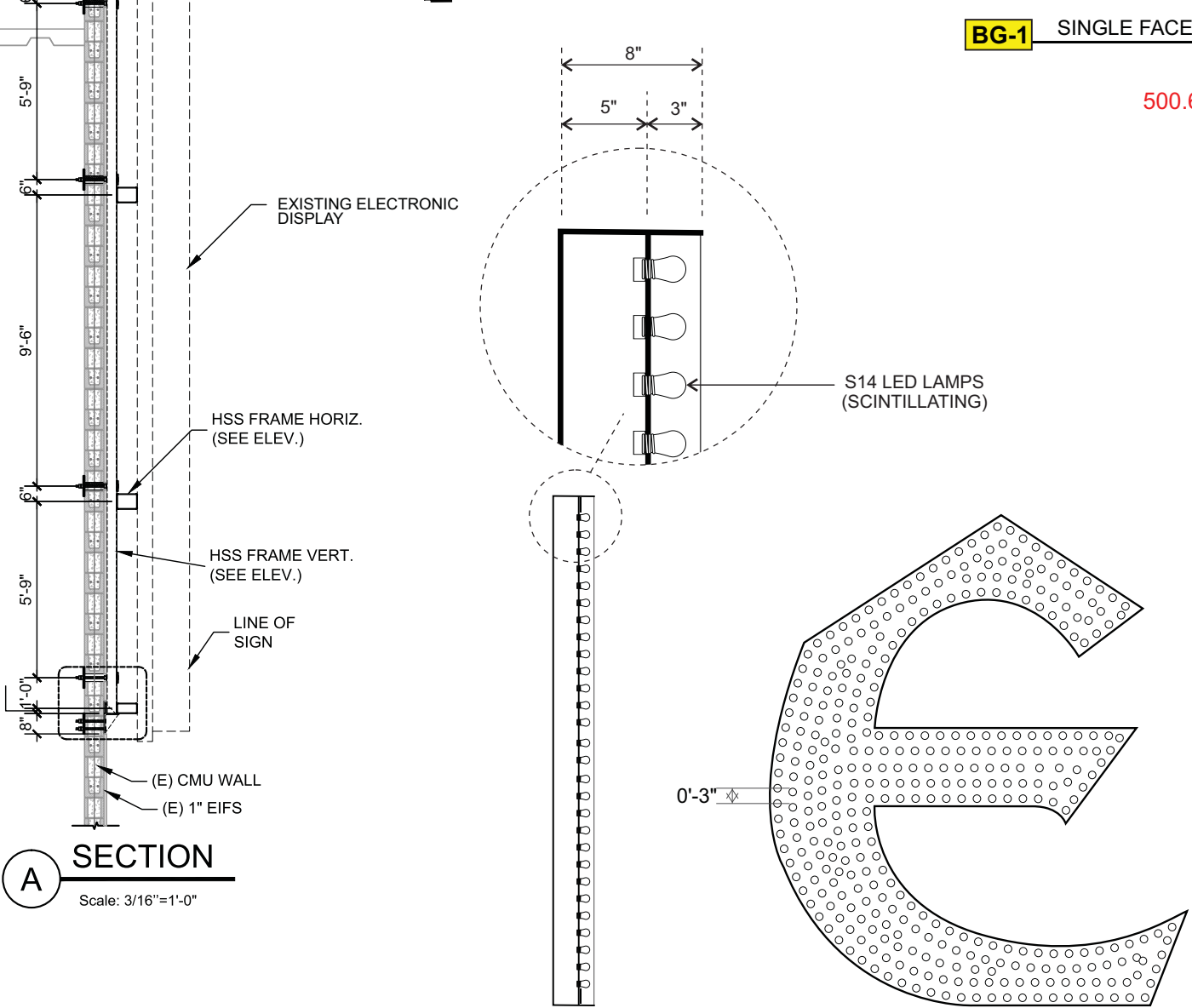
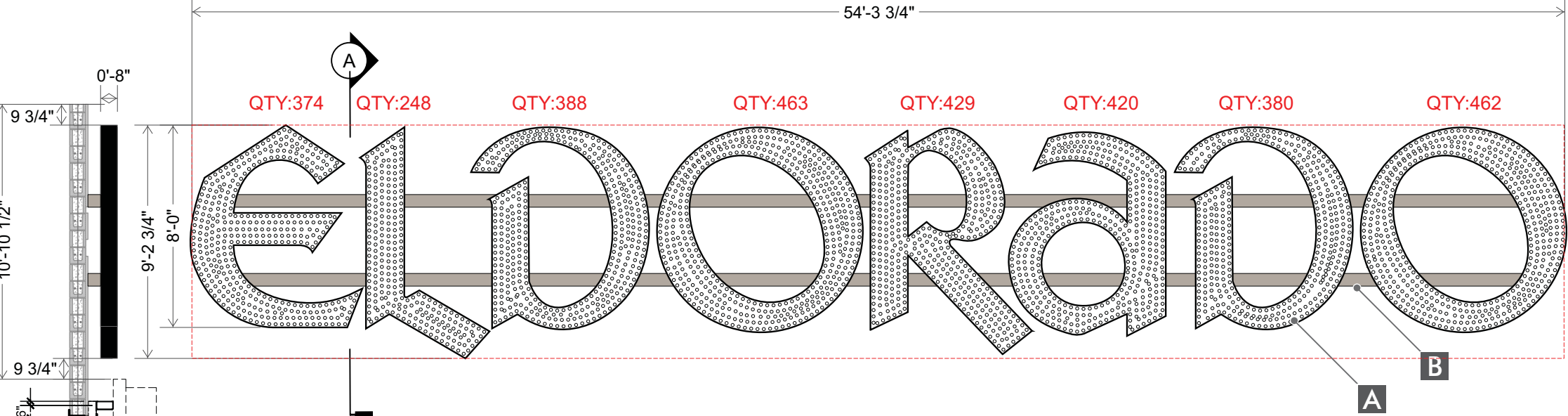
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NEW SIGN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



SCOPE OF WORK

MANUFACTURE AND INSTALL ONE(1) SET OF ILLUMINATED LAMP FILLED OPEN CHANNEL LETTERS.

A SIGN SPECS

PAN CHANTYPE	ALUMINUM CONSTRUCTION
LIGHTING	S14 LED LAMPS (TO SCINTILLATE) TOTAL OF 3164 APPROX.
FACE COLOR	WHITE
INTERIOR RET	WHITE
EXTERIOR RET	BLACK
FINISH	SEMGLOSS

B

SUPPORTS HORIZONTAL SUPPORTS ACTING AS WIRE TO POWER IN MECHANICAL ROOM, PAINTED TO MATCH BUILDING

GENERAL NOTES:

WALL TYPE CMU BLOCK AND STEEL STUDS

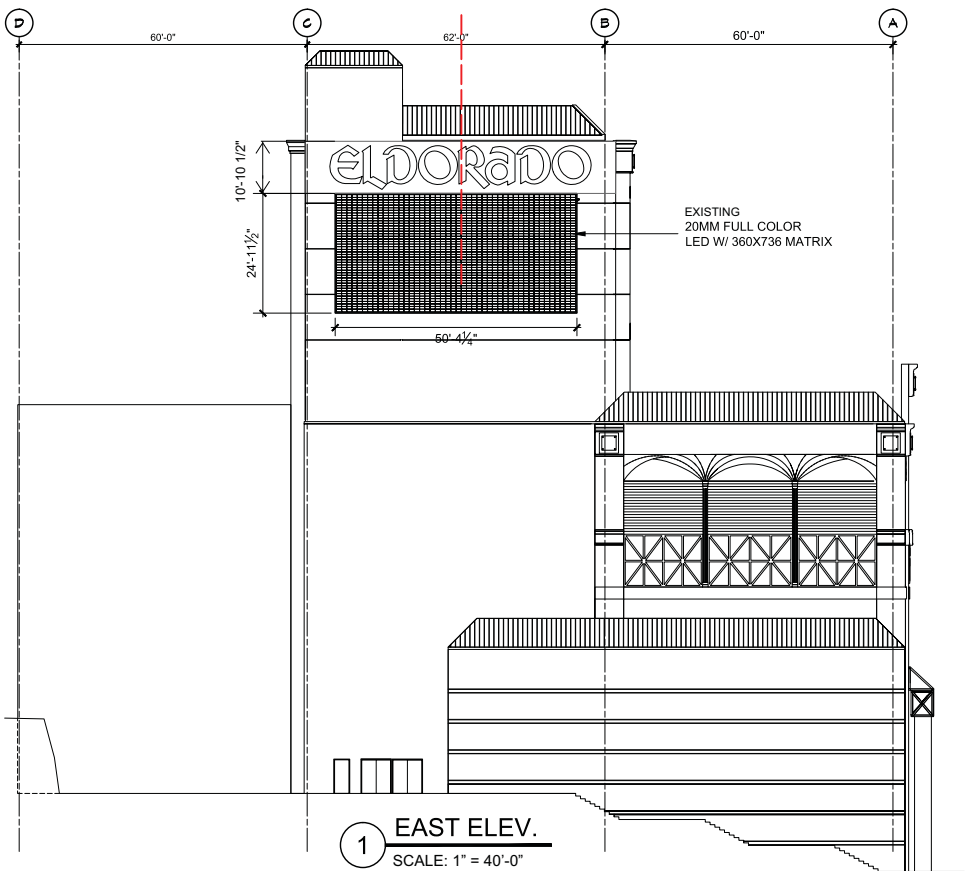
MOUNTING AS SHOWN

NOTE FIELD SURVEY REQUIRED BEFORE FABRICATION

COLOR KEY

PAINT SHERWIN WILLIAMS	COLOR BLACK
PAINT SHERWIN WILLIAMS	COLOR BLACK
PAINT SHERWIN WILLIAMS	COLOR TBD - TO MATCH BUILDING

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS DRAWING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFICATIONS FOR APPROVED COLOR SPECIFICATIONS



YESCO

YESCO LLC

800-B Bennie Lane
Reno, NV 89512
Office: 775.359.3131
NV CONTRACTOR LICENSE NO.
0074289 / 0074290

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Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:

ELDORADO

401 MAIN ST

ADDRESS:

BLACKHAWK, CO

CITY:

TOM WEATHERBY

ACCOUNT EXECUTIVE:

DESIGNER

DATE

JIM GRANDE 2/20/19

JIM GRANDE 2/26/19

GIL SANCHEZ 5/16/19

GIL SANCHEZ 3/06/20

GIL SANCHEZ 3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET

07 of 14

10.0



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CLIENT:

ELDORADO

401 MAIN ST
ADDRESS:

BLACKHAWK, CO
CITY:

TOM WEATHERBY
ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE
DESIGN DATE

SALES DATE

DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET
08 of 146 11.0





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CLIENT:

ELDORADO

401 MAIN ST
ADDRESS:

BLACKHAWK, CO
CITY:

TOM WEATHERBY
ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
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7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER	DATE
LANDLORD	DATE
DESIGN	DATE
SALES	DATE

DESIGN NUMBER

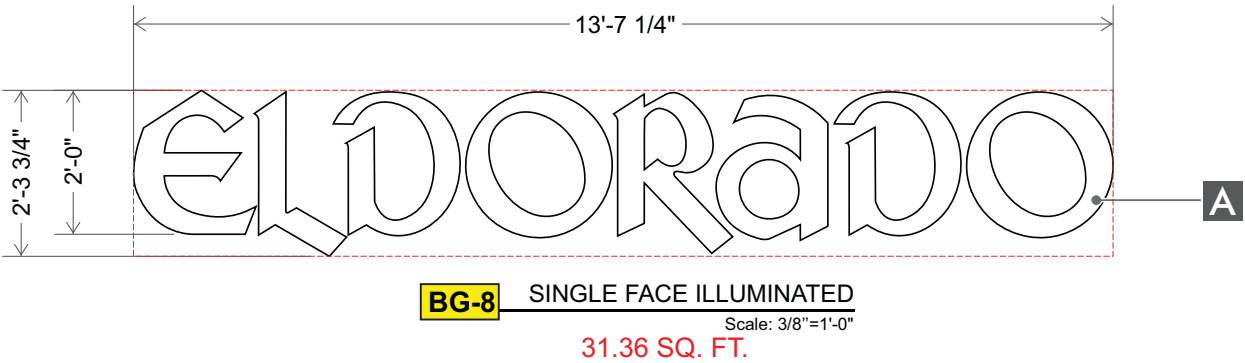
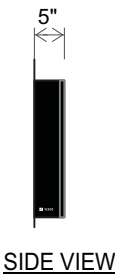
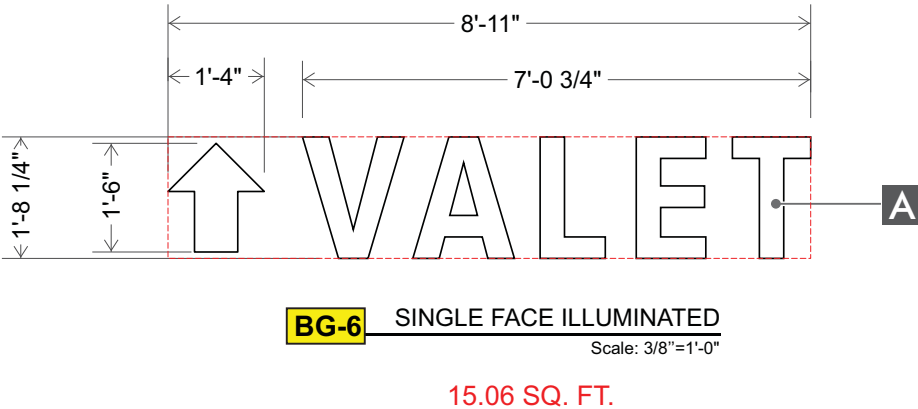
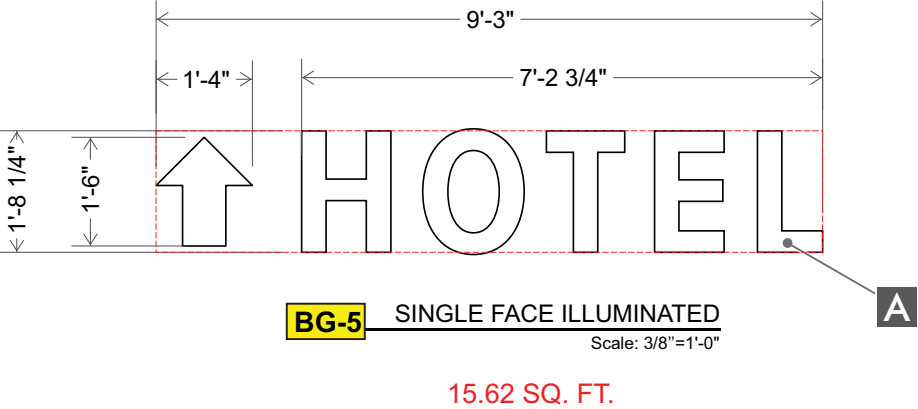
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

NEW SIGNS

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



SCOPE OF WORK

MANUFACTURE AND INSTALL INTERNALLY ILLUMINATED CHANNEL LETTERS.

SIGN SPECS

A	PAN CHANNEL LIGHTING	WHITE LED
	FACE COLOR	WHITE ACRYLIC
	TRIM CAP COLOR	BLACK
	RETURN COLOR	BLACK

REMOVAL REMOVE EXISTING LOGO SIGN AND DISPOSE

GENERAL NOTES:

WALL TYPE TO BE DETERMINED

MOUNTING FLUSH TO WALL

NOTE FIELD SURVEY REQUIRED BEFORE FABRICATION

COLOR KEY

	ALUMINUM
	COLOR BLACK

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CLIENT:

ELDORADO

401 MAIN ST
ADDRESS:

BLACKHAWK, CO
CITY:

TOM WEATHERBY
ACCOUNT EXECUTIVE:

DESIGNER DATE

4	JULIO RAMIREZ	2/3/19
5	JIM GRANDE	2/20/19
6	JIM GRANDE	2/26/19
7	GIL SANCHEZ	5/16/19
8	GIL SANCHEZ	3/06/20
9	GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE

4/10/19

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

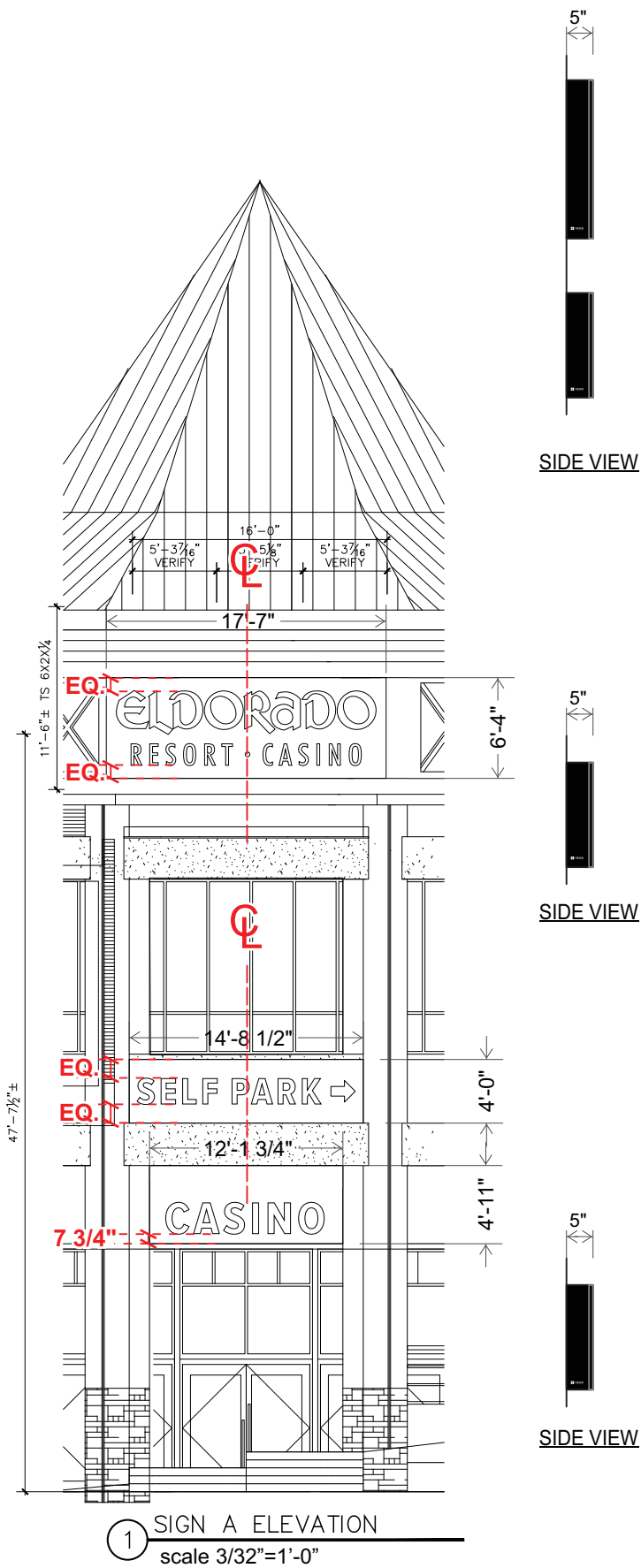
NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFICATIONS FOR APPROVED COLOR SPECIFICATIONS

10 of 14

13.0

NEW SIGN

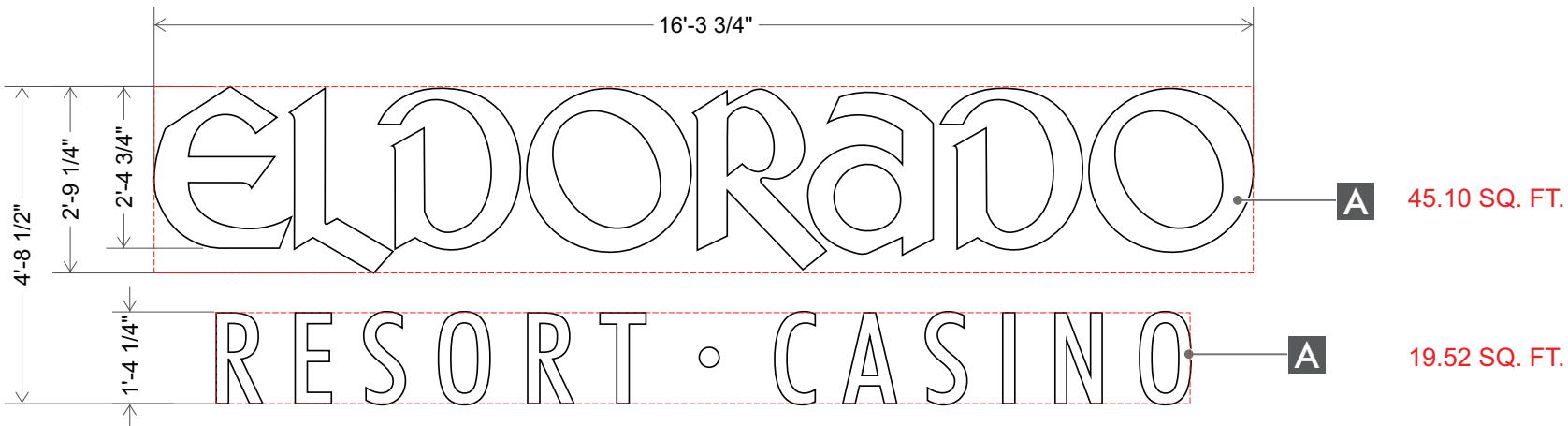
COMPREHENSIVE SIGN PLAN AMENDMENT 2019



SIDE VIEW

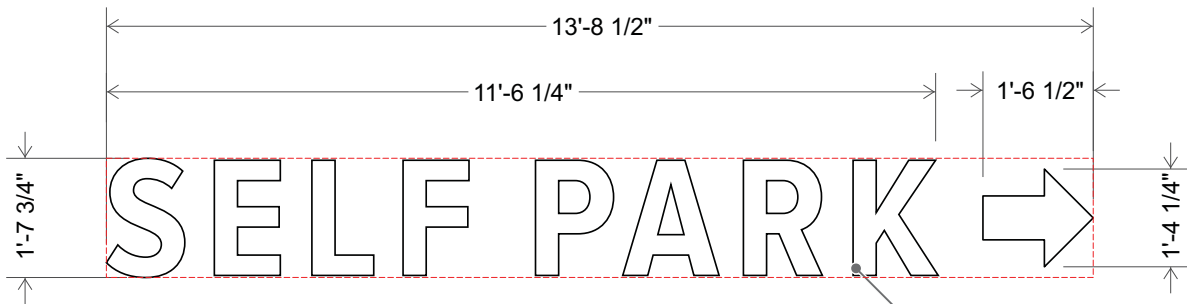
SIDE VIEW

SIDE VIEW



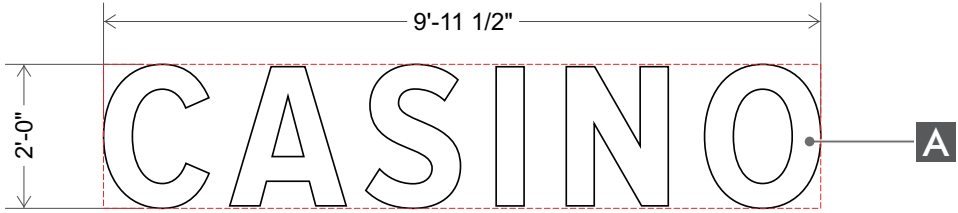
BG-2 SINGLE FACE ILLUMINATED
Scale: 3/8"=1'-0"

TOTAL: 64.62 SQ. FT.



BG-3 SINGLE FACE ILLUMINATED
Scale: 3/8"=1'-0"

22.69 SQ. FT.



BG-4 SINGLE FACE ILLUMINATED
Scale: 3/8"=1'-0"

19.92 SQ. FT.

SCOPE OF WORK

MANUFACTURE AND INSTALL INTERNALLY ILLUMINATED CHANNEL LETTERS.

SIGN SPECS

PAN CHANNEL LIGHTING	WHITE LED
FACE COLOR	WHITE ACRYLIC
TRIM CAP COLOR	BLACK
RETURN COLOR	BLACK

REMOVAL REMOVE EXISTING LOGO SIGN AND DISPOSE

GENERAL NOTES:

WALL TYPE	TO BE DETERMINED
MOUNTING	FLUSH TO WALL
NOTE	FIELD SURVEY REQUIRED BEFORE FABRICATION

COLOR KEY

ALUMINUM
COLOR BLACK

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CLIENT:

ELDORADO

401 MAIN ST
ADDRESS:
BLACKHAWK, CO
CITY:
TOM WEATHERBY
ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER	DATE
LANDLORD	DATE
	4/10/19
DESIGN	DATE

SALES	DATE
-------	------

DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

11 of 14

14.0





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401 MAIN ST
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BLACKHAWK, CO
CITY:

TOM WEATHERBY
ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
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APPROVAL	
CUSTOMER	DATE
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ART SUPERIMPOSED ON PHOTO - SHOWN AT APPROXIMATE RELATIVE SCALE



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APPROVAL

CUSTOMER DATE

LANDLORD DATE

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

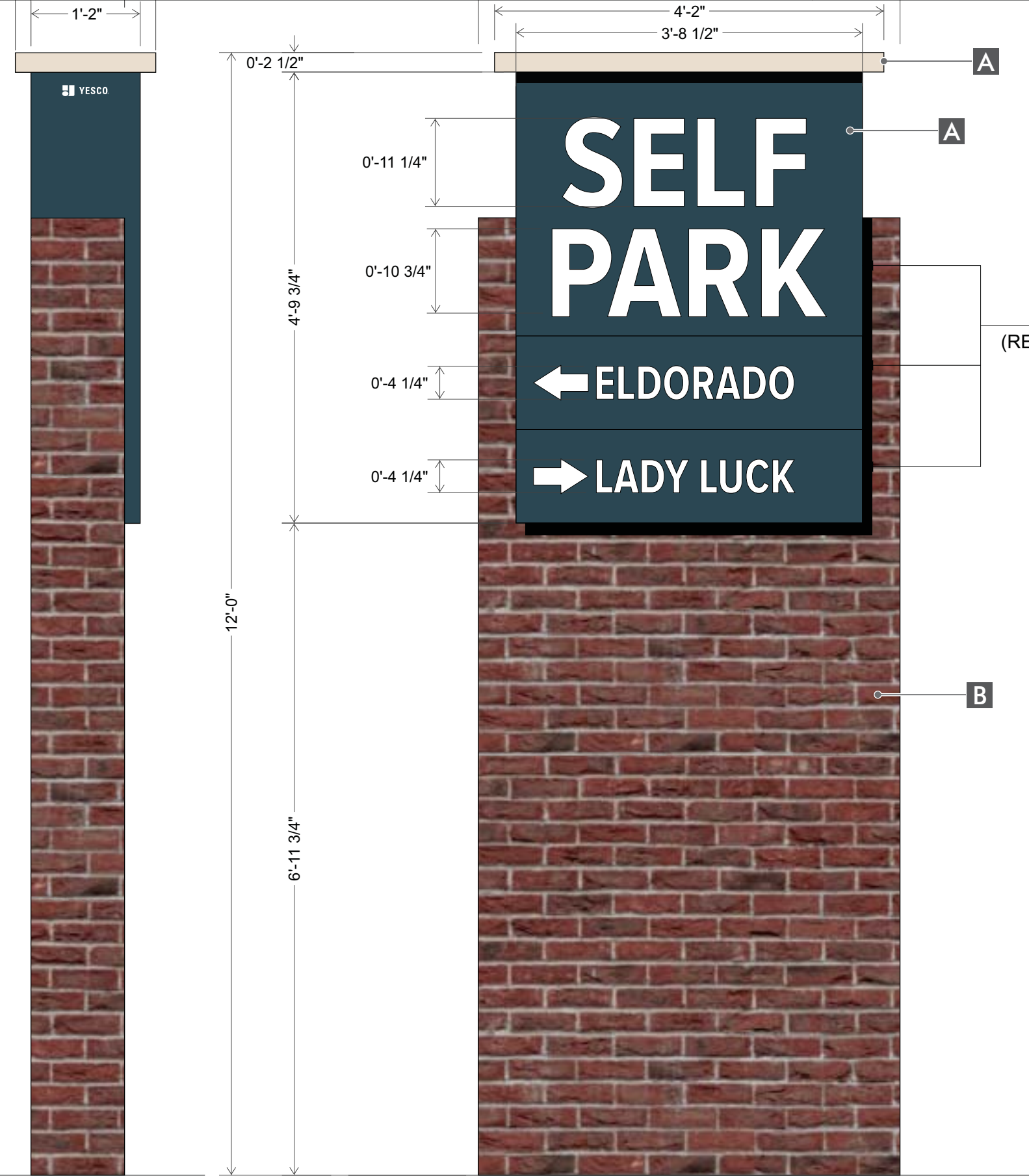
JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET
13 of 14 16.0

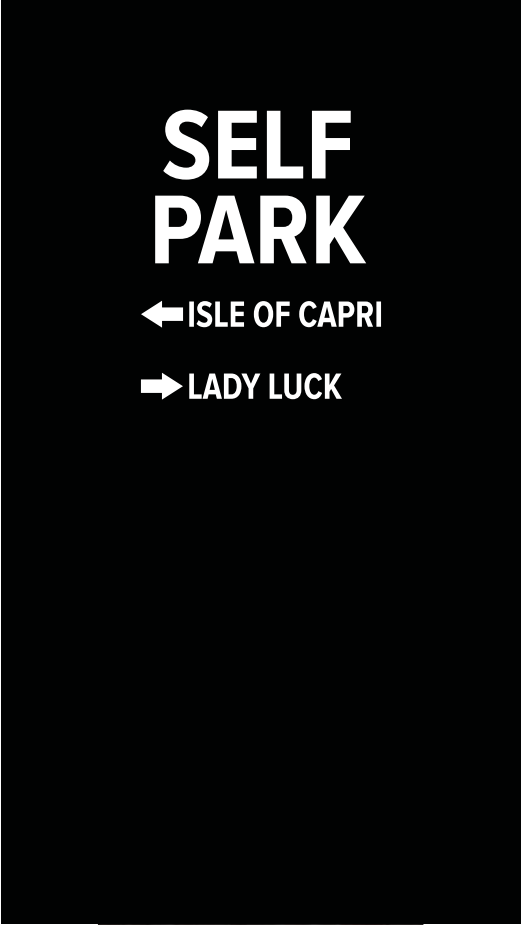
NEW SIGN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



SIDE VIEW

MN-1 SINGLE FACE ILLUMINATED
Scale: 3/4"=1'-0"



NIGHTTIME VIEW

SCOPE OF WORK

MANUFACTURE AND INSTALL ONE(1) S/F ILLUMINATED MONUMENT SIGN

SIGN SPECS

A	CABINET	LIGHTING	WHITE LED
		CABINET	ALUM ROUTED OUT AND WHITE POLYCARBONATE BACKED-UP
		COLOR	TBD
		FINISH	SEMI-GLOSS
B	BRICK	BRICK BY CUSTOMER	
	REMOVAL	REMOVE EXISTING SIGN AND DISPOSE	

GENERAL NOTES:

NOTE FIELD SURVEY REQUIRED BEFORE FABRICATION

COLOR KEY

PAINT	SHERWIN WILLIAMS	
	COLOR TBD	
PAINT	SHERWIN WILLIAMS	
	COLOR TBD	

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YESCO LLC

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CLIENT:

ELDORADO

401 MAIN ST

ADDRESS:
SE BEEPER HAVK, CO
CITY:

TOM WEATHERBY

ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

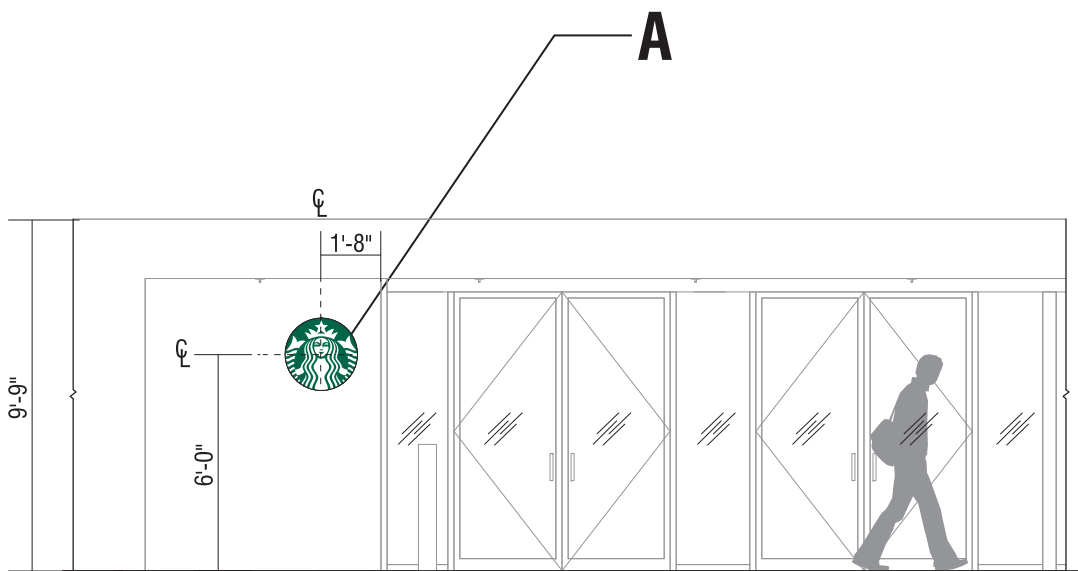
JOB / PROJECT NUMBER

ARCHIVE NUMBER

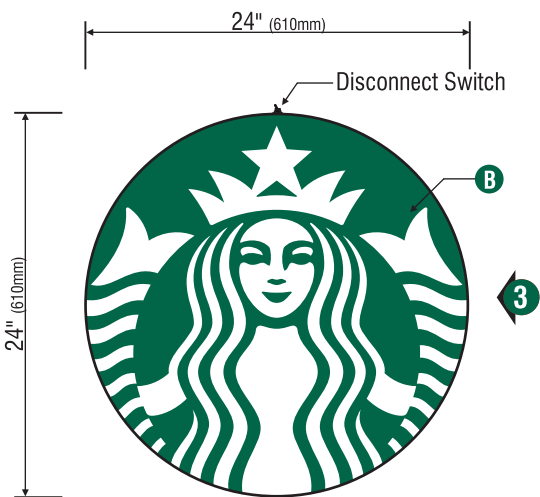
SHEET

14 of 14

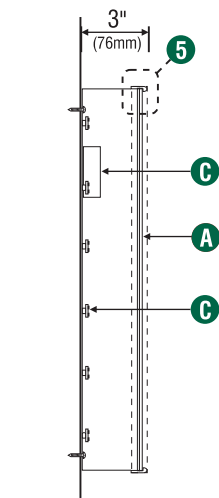
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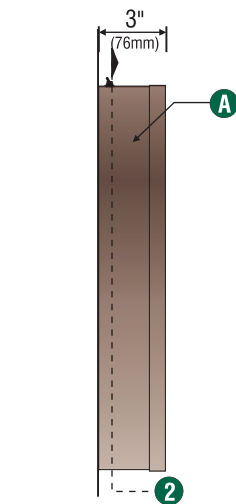
1 Exterior Entry Elevation
Approximate Scale: 3/16" = 1'-0"



1 Front View
Scale: 1" = 1'-0"



2 Section View
Scale: 1" = 1'-0"



3 Side View
Scale: 1" = 1'-0"

A - Design ID #13161

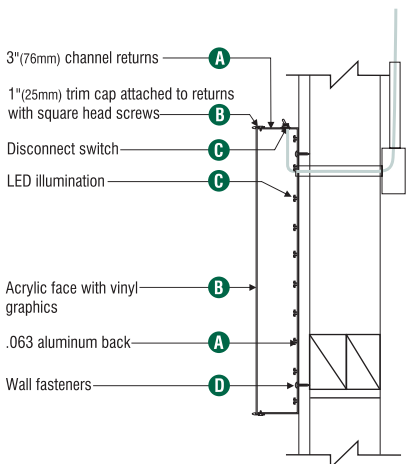
Manufacture and install one (1) single face backlit illuminated logo wall sign.

- A Single faced internally illuminated wall mount logo disk. Cabinet to be 3"(76mm) deep, fabricated aluminum sidewalls and back. Paint cabinet black polyurethane. Faces to be 3/16"(5mm) Acrylite 015-2GP backed with 1/8" clear polycarbonate. 1"(25mm) black trimcap with square head screws retainer edging.
- B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C Internally illuminate with Sloan mini, White 6500k LEDs. Internal powersupply.
- D Fasten to wall with required fasteners. (Brick wall, exterior mount)

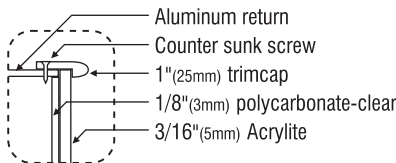
Sign must be approved by the National Electrical Code, Underwriters Laboratory, CUL, and all applicable local codes. Disconnect switch in primary to be within sight of sign (sign includes power supply enclosure) REF: NEC 110-3[B] 600-2, 600-4. Primary electrical source 1/2"(13mm) conduit minimum) REF: NEC 600-6, 600-21(provided by installer).



Disk 24in (610mm) S/F Illuminated Flush Mounted Wall Sign EVOLVED			
Size	Sq.Ft.	Volts	
24" (610mm)	3.14	120	



4 Disk Section View Typ.
NTS



5 Enlarged Detail
Scale: 3" = 1'-0"

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CLIENT:

ELDORADO

401 MAIN ST

ADDRESS:

BLACKHAWK, CO


CITY:

TOM WEATHERBY

ACCOUNT EXECUTIVE:

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20

APPROVAL

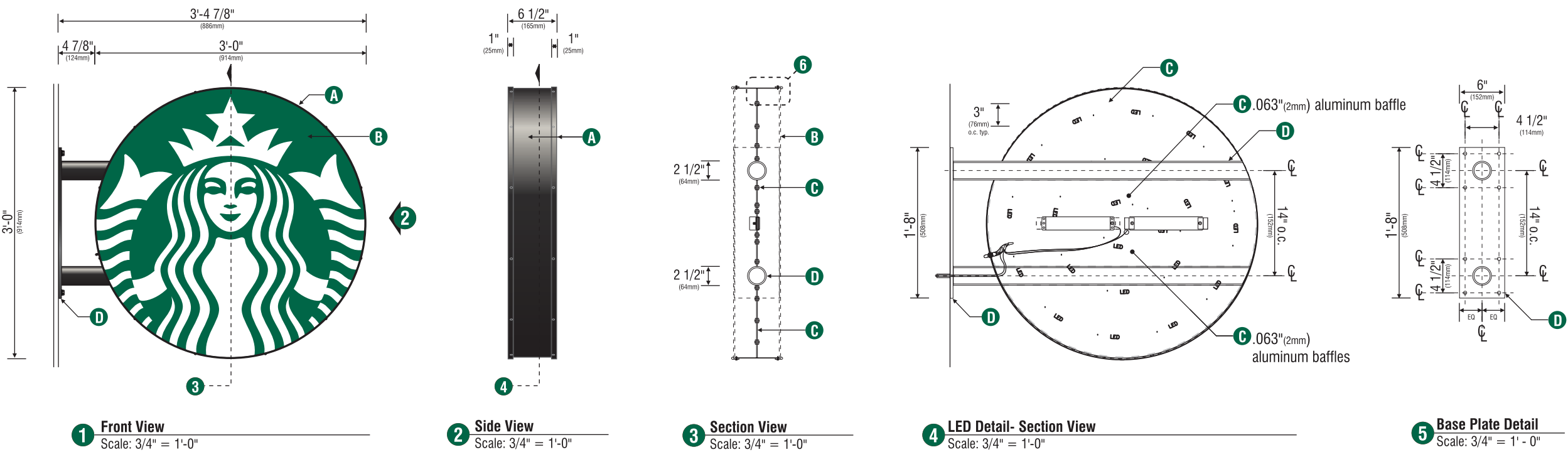
CUSTOMER	DATE
LANDLORD	DATE
	4/10/19
DESIGN	DATE

SALES	DATE

DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER



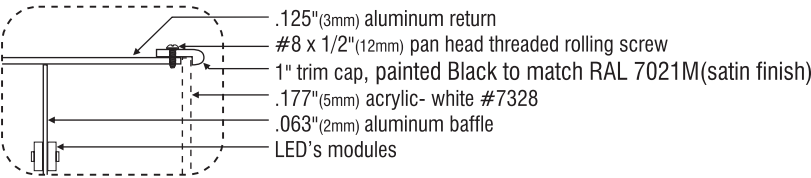
B - Design ID #14097

Manufacture and install one (1) double face backlit illuminated logo blade cabinet sign.

- A Double faced internally illuminated blade mounted logo disk cabinet to be 6 1/2" (165mm) deep, fabricated from .125" (3mm) aluminum, painted Black to match RAL 7021M(satin finish).
- B Faces to be .177" (5mm) translucent acrylic- White #7328. Siren logo background graphics to be first surface applied translucent 3M Scotchcal vinyl- Holly Green #3630-76. Retainment of face to be 1" (25mm) trim cap, painted Black to match RAL 7021M(satin finish). Attach retainer and face to cabinet returns with #8 x 1/2" (12mm) pan head threaded rolling screws, painted Black to match RAL 7021M(satin finish).
- C Internally illuminate with Sloan 6500k White Prism modules, mounted on an internal .063" (2mm) aluminum baffle with self contained power supply (s) recessed into middle aluminum baffle. All electrical components are removable for service.
- D Support structure to be 2 1/2" o.d. (64mm) x 3/16" (5mm) aluminum pipe, welded to wall plate 20" (508mm) X 6" (152mm) x 3/8" (6mm) aluminum. Fasten securely to wall with 3/8" (10mm) dia. grade 5 bolts with nuts, flat and lock washers, paint exposed support Black to match RAL 7021M(satin finish).
- E Sign must meet all regulations in the National Electric Sign Code as well as any local or state codes. As per NEC 600.6 sign is equipt with a service disconnect switch. Sign must be listed as an Electrical Sign per Underwriters Laboratories UL48 and/or CSA and bear the appropriate UL, CUL, or CSA relevant certification marks. Primary power by electrical contractor per NEC.



NOTE: Verify height to grade requirements.



6 Enlarged Detail
Scale: 3" = 1'-0"



3 Parking Entry Elevation
Scale: NTS

Disk Blade Illuminated Wall Mounted Evolved - 36in, 915mm 14097			
Size	Sq. Ft. ¹	Volts	Amps
36" (915mm)	7.06	120	0.85

DESIGNER	DATE
4 JULIO RAMIREZ	2/3/19
5 JIM GRANDE	2/20/19
6 JIM GRANDE	2/26/19
7 GIL SANCHEZ	5/16/19
8 GIL SANCHEZ	3/06/20
9 GIL SANCHEZ	3/19/20



ES-1 - DIRECTIONAL WALL SIGN

NTS



ES-1 - DIRECTIONAL WALL SIGN

NTS

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ELDORADO

401 MAIN ST







ADDRESS:

BLACKHAWK, CO

CITY:

TOM WEATHERBY

ACCOUNT EXECUTIVE:

DESIGNER	DATE
 JULIO RAMIREZ	2/3/19
 JIM GRANDE	2/20/19
 JIM GRANDE	2/26/19
 GIL SANCHEZ	5/16/19
 GIL SANCHEZ	3/06/20
 GIL SANCHEZ	3/19/20

APPROVAL

CUSTOMER DATE

LANDLORD DATE

 4/10/19

DESIGN DATE

SALES DATE

DESIGN NUMBER

OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET

17 of 142

20.0

EXISTING SIGN TO REMAIN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



ES-2 & ES-5 - PARKING WALL SIGNS

NTS



ES-2 - PARKING WALL SIGN

NTS



ES-5 - PARKING WALL SIGN

NTS



YESCO[®]

YESCO LLC

800-B Bennie Lane
Reno, NV 89512
Office: 775.359.3131

NV. CONTRACTOR LICENSE NO.
0074289 / 0074290

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Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:

ELDORADO

401 MAIN ST







ADDRESS:

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CITY:

TOM WEATHERBY

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APPROVAL

CUSTOMER DATE

LANDLORD DATE

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DESIGN DATE

SALES DATE

DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET
18 of 1421.0

EXISTING SIGN TO REMAIN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



ES-3 & ES-4 - NORTH ELEVATION

NTS



ES-9 & ES-10 -WEST ELEVATION

NTS



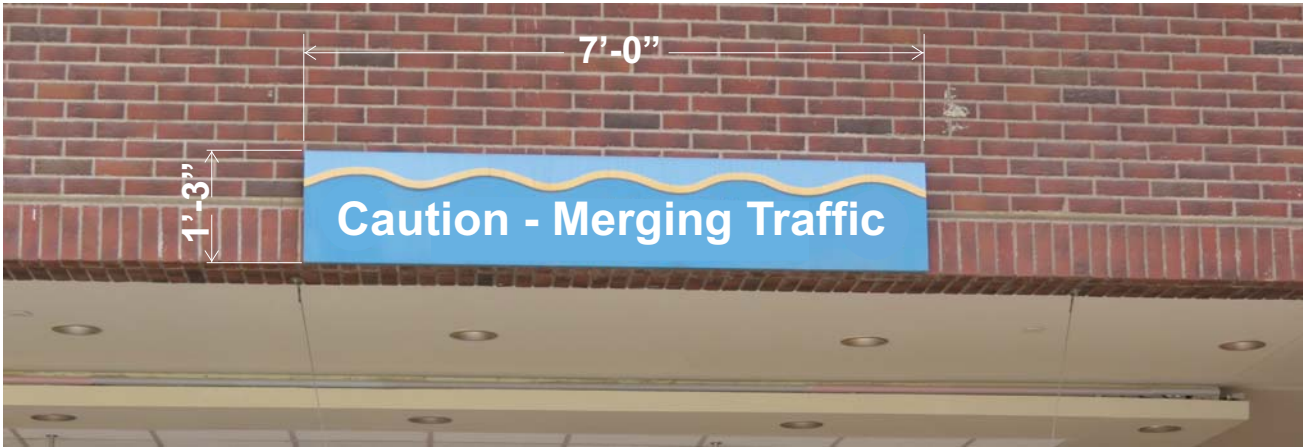
ES-3 & ES-9 - DIRECTIONAL PARKING SIGNS

NTS




ES-4 - DIRECTIONAL PARKING SIGN

NTS



ES-10 - DIRECTIONAL PARKING SIGN

NTS



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





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ELDORADO

401 MAIN ST
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TOM WEATHERBY
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APPROVAL

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	4/10/19

DESIGN	DATE

SALES	DATE

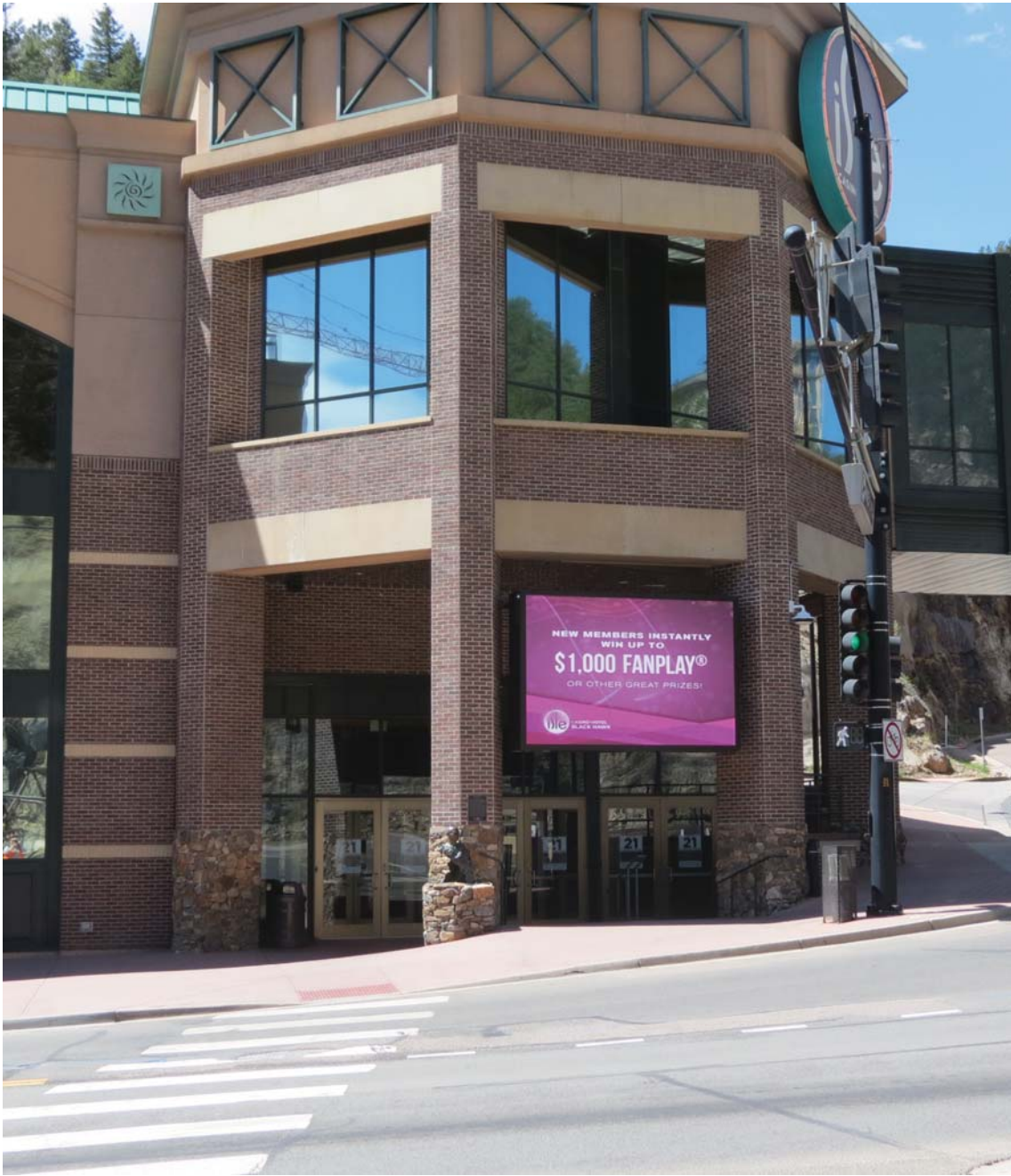
DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET
19 of 142

22.0



ES-6 - VIDEO BOARD

NTS



ES-6 - VIDEO BOARD

NTS


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




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APPROVAL

CUSTOMER	DATE
LANDLORD	DATE
DESIGN	DATE
SALES	DATE

DESIGN NUMBER

OPY-20406

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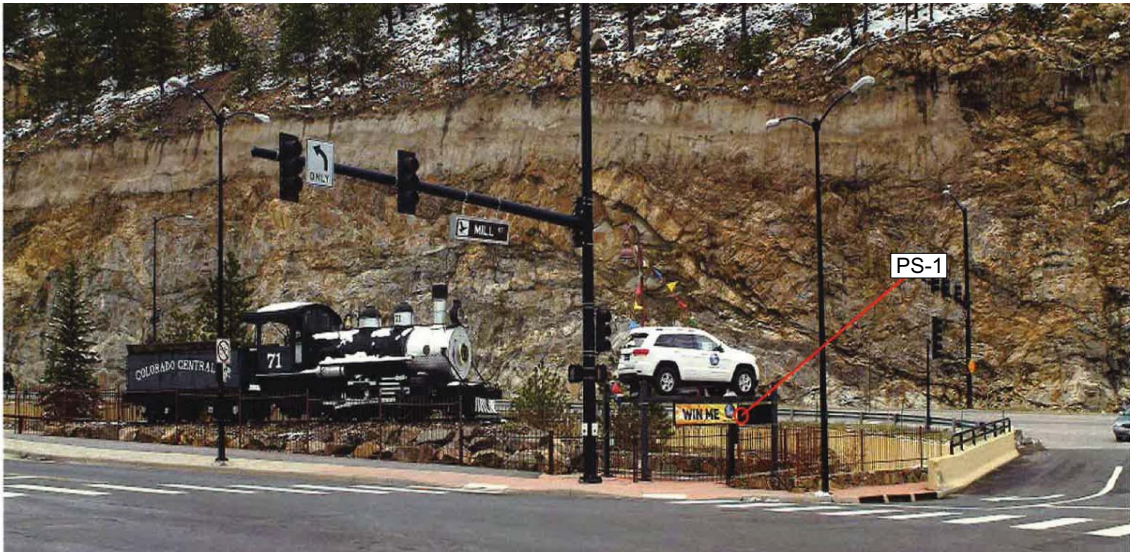
SHEET

20 of 142

23.0

EXISTING SIGN TO REMAIN

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



PS-1 - BANNER

NTS



PS-1 - BANNER

NTS


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




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CITY:

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APPROVAL

CUSTOMER DATE

LANDLORD DATE

 4/10/19

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SALES DATE

DESIGN NUMBER

OPY-20406

JOB / PROJECT NUMBER

ARCHIVE NUMBER

SHEET

21 of 142

24.0


YESCO
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APPROVAL	
CUSTOMER	DATE
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SALES	DATE

DESIGN NUMBER
OPY-20406

JOB / PROJECT NUMBER

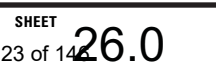
ARCHIVE NUMBER

SHEET
22 of 1425.0



1 Front View
Scale: 3/4" = 1'-0"

COMPREHENSIVE SIGN PLAN AMENDMENT 2019



STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK

Resolution No. 50-2019

TITLE: A RESOLUTION CONDITIONALLY APPROVING A CERTIFICATE OF ARCHITECTURAL COMPATIBILITY FOR AN AMENDMENT TO THE COMPREHENSIVE SIGN PLAN FOR THE ISLE OF CAPRI/ELDORADO CASINO

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BLACK HAWK, COLORADO, THAT:

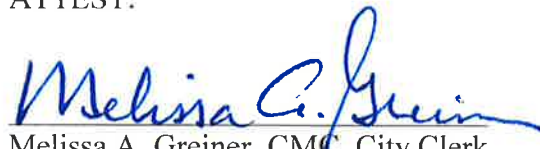
Section 1. The City Council hereby conditionally approves a Certificate of Architectural Compatibility for an amendment to the Comprehensive Sign Plan for the Isle of Capri/Eldorado Casino, with the following conditions:

- A. The property line must be added to the site plan of the Comprehensive Sign Plan, and specific dimensions shall be included indicating the distance from the property line to the façade of the building along Main Street, and the proposed setback from each property line to the sign face;
- B. If any signs are determined to be located in, or protrude upon, the City owned right-of-way, a License Agreement with the City of Black Hawk will be required prior to issuance of building permits for such signs, which License Agreement shall require separate City Council approval; and
- C. Proper Building, Electrical, Sign, or other required permits shall be applied for and approved prior to the installation of any new sign.

RESOLVED AND PASSED this 14th day of August, 2019.


David D. Spellman, Mayor

ATTEST:


Melissa A. Greiner, CMC, City Clerk



RESOLUTION 40-2020
A RESOLUTION
APPROVING A
TELEPHONIC
PARTICIPATION POLICY
FOR HISTORIC
PRESERVATION
COMMISSION MEETINGS

STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK

Resolution No. 40-2020

**TITLE: A RESOLUTION APPROVING A TELEPHONIC PARTICIPATION
POLICY FOR HISTORIC PRESERVATION COMMISSION MEETINGS**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF
BLACK HAWK, COLORADO, THAT:

Section 1. The Telephonic Participation Policy During Historic Preservation
Commission Meetings, attached hereto as **Exhibit A**, is hereby adopted by the City.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

ELECTRONIC PARTICIPATION POLICY

DURING

HISTORIC PRESERVATION COMMISSION MEETINGS

I. Purpose.

The purpose of this Policy is to specify the circumstances under which a member of the Historic Preservation Commission may participate in regular and special meetings by telephone or other electronic means of participation, such as video-conferencing ("Electronic Participation"). Electronic Participation has inherent limitations because Electronic Participation effectively precludes a member of the Historic Preservation Commission from contemporaneously observing documentary information presented during meetings; from fully evaluating a speaker's non-verbal language in assessing veracity or credibility; and from observing non-verbal explanations (e.g., pointing at graphs and charts) during a speaker's presentation or testimony. The Historic Preservation Commission finds that these limitations, inherent in Electronic Participation, may produce inefficiencies in meetings, increase the expense of meetings, and may undermine the decision-making process.

II. Statement of General Policy.

A member of the Historic Preservation Commission may participate in a meeting of the Historic Preservation Commission by electronic means only in accordance with this Policy.

A. *Non-Emergency Situations.*

Electronic Participation in non-emergency situations shall be made available and shall be limited as follows:

1. A member of the Historic Preservation Commission may listen by telephone or other electronic means to any Historic Preservation Commission meeting. Such Historic Preservation Commission member listening via telephone shall be deemed present for purposes of determining a quorum, but only for meetings during which no quasi-judicial matters will be heard or considered. The member of Historic Preservation Commission may not participate nor vote in a quasi-judicial public hearing; however, the Historic Preservation Commission member may maintain the electronic connection and monitor and listen to the hearing. The member of Historic Preservation Commission may participate and vote in legislative matters.

2. Listening telephonically or by electronic means is intended to be an infrequent or occasional substitution for physical attendance. The Historic Preservation Commission may, by majority vote of a quorum present, declare a Historic Preservation Commission member's repeated use of Electronic Participation excessive and deny a Historic Preservation Commission member's privilege to use Electronic Participation for a specific meeting or meetings.

3. Electronic Participation may also be made available to a Historic Preservation Commission member during an executive session.

4. The Historic Preservation Commission may discontinue the use of Electronic Participation by one or more members during a meeting where the participation results in delays or interference in the meeting process; *e.g.*, where the telephone connection or connection by other electronic means is repeatedly lost, the quality of the connection is unduly noisy or otherwise problematic to the conduct of the meeting, or the listening member is unable to hear speakers using a normal speaking voice amplified to a level suitable for the meeting audience in attendance.

B. *Emergency Situations*

In the event a quorum is unable to meet at the day, hour, and place fixed by the rules and procedures of the Historic Preservation Commission because meeting in-person is not practical or prudent due to a health pandemic or emergency affecting the City, meetings may be conducted by telephone, electronically, or by other means of communication so as to provide maximum practical notice. Meetings may be held by telephone, electronically, or by other means of communication if all of the following conditions are met:

1. The Historic Preservation Commission Chairman, Vice-Chairman or Secretary determines that meeting in person is not practical or prudent, because of a health pandemic or declaration of emergency affecting the City;

2. All members of the Historic Preservation Commission can hear one another or otherwise communicate with one another and can hear or read all discussion and testimony in a manner designed to provide maximum notice and participation;

3. Members of the public present at the regular meeting location can hear or read all discussion, testimony and votes, unless not feasible due to the pandemic or emergency;

4. At least one member of the Historic Preservation Commission is present at the regular meeting location, unless not feasible due to the pandemic or emergency declaration;

5. All votes are conducted by roll call;

6. Minutes of the meeting are taken and promptly recorded, and such records are open to public inspection; and

7. To the extent possible, full and timely notice is given to the public setting forth the time of the meeting, the fact that some members of the Historic Preservation Commission may participate by telephone, and the right of the public to monitor the meeting from another location.

III. Arranging for Electronic Participation.

A. To arrange to participate via Electronic Participation, a Historic Preservation Commission member shall:

1. Contact the Historic Preservation Commission Chairman, Vice-Chairman or Secretary in advance of the meeting to determine if an arrangement for such participation via telephone conference or video conference is possible. Historic Preservation Commission members shall endeavor to advise the City of their intent to participate via Electronic Participation at the earliest possible time and not less than twenty-four (24) hours prior to the requested participation.

2. The City shall initiate the Electronic Participation not more than ten (10) minutes prior to the scheduled time of the meeting. Upon disconnection during a meeting, the Historic Preservation Commission Secretary shall make one attempt to re-initiate the connection.

IV. Effect of Electronic Participation.

Telephonic participation shall only constitute actual attendance for purposes of establishing a quorum for meetings during which no quasi-judicial matters will be heard or considered.

V. Limited Applicability of Policy.

This Policy shall only apply to regular and special meetings (including study sessions) of the Historic Preservation Commission of the City of Black Hawk.

VI. Reasonable Accommodations.

The City shall provide reasonable accommodation and shall waive or modify provisions of this Policy to provide handicapped members of the Historic Preservation Commission full and equal access to Historic Preservation Commission meetings.

CITY OF BLACK HAWK REQUEST FOR COUNCIL ACTION

SUBJECT: Electronic Meeting Participation Policy for the Historic Preservation Commission.

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 40-2020, A Resolution Approving a Telephonic Participation Policy for Historic Preservation Commission Meetings

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The purpose of the policy is to specify the circumstances under which a member of the Historic Preservation Commission may participate in regular and special meetings by telephone or other electronic means of participation, such as video-conferencing.

AGENDA DATE: May 13, 2020

WORKSHOP DATE: N/A

FUNDING SOURCE: N/A

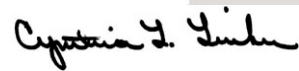
STAFF PERSON RESPONSIBLE: Cynthia L. Linker
CP&D Director

DOCUMENTS ATTACHED: Resolution
HPC Electronic Participation Policy

RECORD: [] Yes [X] No


CITY ATTORNEY REVIEW: [X] Yes [] N/A

SUBMITTED BY:



Cynthia L. Linker
CP&D Director

REVIEWED BY:



Stephen N. Cole
City Manager

RESOLUTION 41-2020
A RESOLUTION
APPROVING THE
PROPOSAL FROM CIGNA
FOR 2020-2023 ANCILLARY
COVERAGE

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 41-2020

**TITLE: A RESOLUTION APPROVING THE PROPOSAL FROM CIGNA FOR
2020-2023 ANCILLARY COVERAGE**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the proposal from CIGNA for 2020-
2023 Ancillary Coverage (Basic/Voluntary Life, AD&D, Short Term Disability, and Long Term
Disability). To the extent such proposal extends beyond the current fiscal year, such acceptance
is and shall be subject to annual appropriation.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: 2020-2023 Ancillary Coverage (Basic/Voluntary Life, AD&D, Short Term Disability, and Long Term Disability)

RECOMMENDATION: Staff recommends to the Mayor and Board of Aldermen:

Motion to Approve Resolution 41-2020, A Resolution Approving the Proposal from CIGNA for 2020-2023 Ancillary Coverage.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

CIGNA has offered to renew the ancillary lines of coverage with a rate guarantee for the next three years with rates lower than our current premiums:

- Basic Life and AD&D (-11.1%): renewal rates are about \$3,700 below current
- Short Term Disability (-9.1%): renewal rates are about \$2,000 below current
- Long Term Disability (-9.4%): renewal rates are about \$2,000 below current

This is approximately a \$7,700 savings from current rates, the final annual cost is based on actual enrollment numbers. Staff budgeted for a 10% increase at renewal for plan year July 1, 2020 - June 30, 2021.

AGENDA DATE:

May 13, 2020

FUNDING SOURCE:

Department Specific Group Health Insurance line
(xxx-xxxx-xxx-21-00)

WORKSHOP DATE:

October 23, 2019

STAFF PERSON RESPONSIBLE:

Melissa Greiner
City Clerk/Administrative Services Director

RECORD: []Yes [X]No

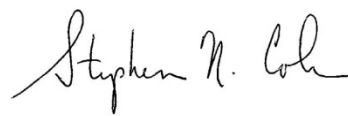
CITY ATTORNEY REVIEW: []Yes [X]N/A

SUBMITTED BY:

REVIEWED BY:



Melissa Greiner
Administrative Services Director



Stephen N. Cole
City Manager

RESOLUTION 42-2020
A RESOLUTION
APPROVING THE
CONTRACT WITH DELTA
DENTAL IN THE
ESTIMATED AMOUNT OF
\$122,522 FOR GROUP
DENTAL INSURANCE

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 42-2020

**TITLE: A RESOLUTION APPROVING THE CONTRACT WITH DELTA
DENTAL IN THE ESTIMATED AMOUNT OF \$122,522 FOR GROUP
DENTAL INSURANCE**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the contract with Delta Dental for
Dental Insurance in the estimated amount of \$122,522.

RESOLVED AND PASSED this 13th day of May 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: 2020-2021 Dental Insurance Proposal

RECOMMENDATION:

Motion to Approve Resolution 42-2020, A Resolution Approving the Contract with Delta Dental in the Estimated Amount of \$122,522 for Group Dental Insurance

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

In 2019, the City's benefits broker, IMA of Colorado, worked with Delta Dental to recategorize the City's plan to a large group due to increased staffing, which resulted in a decrease in premium of 8.2% for the 2019-2020 plan year. The increases noted below are due to 1) claims utilization for the current plan year were 102% of premiums paid, and 2) Delta Dental has imposed across the board rate increases for all lines of business in Colorado for all renewals in 2020. The estimated annual cost is based on current enrollment.

The City had expressed interest in increasing the maximum benefit for dental coverage. Delta proposed the following options for renewal for the 2020-2021 plan year:

- Staying with the current annual benefit of \$2,000 = 12.5% increase or \$122,522 annually (\$13,613 increase)
- Increased the annual benefit to \$2,500 = 16.5% increase or \$126,986 annually (\$18,076 increase); or
- Increasing the annual benefit to \$3,000 = 19.6% increase or \$130,209 (\$21,310 increase).

Staff recommends staying with the current benefit of \$2,000 due to budget constraints brought on by COVID-19. Staff budgeted for a 10% increase at renewal for plan year July 1, 2020 – June 30, 2021, but we have savings from the Medical and Ancillary budgeted amounts to cover the difference.

We also pursued the feasibility of moving from a fully-funded plan to a self-funded plan. However, the potential risks for moving to a self-funded plan did not outweigh the minimal potential savings.

AGENDA DATE: May 13, 2020

FUNDING SOURCE: Department Specific Group Health Insurance Line Item
(xxx-xxxx-xxx-21-00)

WORKSHOP DATE: October 23, 2019

STAFF PERSON RESPONSIBLE: Melissa Greiner
City Clerk/Administrative Services Director

RECORD: []Yes [X]No

CITY ATTORNEY REVIEW: []Yes [X]N/A

SUBMITTED BY:

REVIEWED BY:



Melissa Greiner
City Clerk/Administrative Services Director



Stephen N. Cole
City Manager

RESOLUTION 43-2020
A RESOLUTION
APPROVING THE
CONTRACT WITH KAISER
PERMANENTE IN THE
ESTIMATED AMOUNT OF
\$1,116,622 FOR HEALTH
INSURANCE

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 43-2020

**TITLE: A RESOLUTION APPROVING THE CONTRACT WITH KAISER
PERMANENTE IN THE ESTIMATED AMOUNT OF \$1,116,622 FOR
GROUP HEALTH INSURANCE**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the contract with Kaiser Permanente for
Group Health Insurance in the estimated amount of \$1,116,662 for the plan year July 1, 2020 –
June 30, 2021.

RESOLVED AND PASSED this 13th day of May 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: 2020-2021 Health Insurance Proposal

RECOMMENDATION: Staff recommends to the Mayor and Board of Aldermen the following:

Motion to Approve Resolution 43-2020, A Resolution Approving the Contract with Kaiser Permanente in the Estimated Amount of \$1,116,662 for Group Health Insurance.

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

Kaiser Permanente (KP) presented a quote for health care coverage for the 2020-2021 plan year with a rate increase of 6.9% with no plan design changes except for legislatively mandated changes. The City budgeted for a 15% increase, which is the maximum rate increase KP can take under their rate capping guidelines. The quoted estimated annual cost is based on current enrollment.

Current employer HSA/457 contributions will remain in place for the new plan year. The spousal surcharge/incentive programs will also continue.

AGENDA DATE: May 13, 2020

FUNDING SOURCE: Department Specific Group Health Insurance Line Item
(xxx-xxxx-xxx-21-00)

WORKSHOP DATE: October 23, 2019

STAFF PERSON RESPONSIBLE: Melissa Greiner
City Clerk/Administrative Services Director

DOCUMENTS ATTACHED: N/A

RECORD: [] Yes [X] No

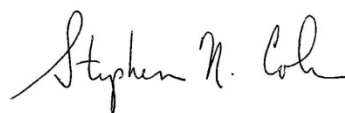
CITY ATTORNEY REVIEW: [] Yes [X] N/A

SUBMITTED BY:



Melissa Greiner, CMC
Administrative Services Director
City Clerk

REVIEWED BY:



Stephen N. Cole
City Manager

RESOLUTION 44-2020
A RESOLUTION REVISING
A JOB DESCRIPTION FOR
POLICE CHIEF

**STATE OF COLORADO
COUNTY OF GILPIN
CITY OF BLACK HAWK**

Resolution No. 44-2020

**TITLE: A RESOLUTION REVISING A JOB DESCRIPTION FOR POLICE
CHIEF**

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF BLACK HAWK, COLORADO, THAT:

Section 1. The City Council hereby approves the revision to the Job Description for
Police Chief.

RESOLVED AND PASSED this 13th day of May, 2020.

David D. Spellman, Mayor

ATTEST:

Melissa A. Greiner, CMC, City Clerk

CITY OF BLACK HAWK

REQUEST FOR COUNCIL ACTION

SUBJECT: Revised job description for Police Chief's Experience and Education requirements.

RECOMMENDATION: Staff recommends the following motion to the Mayor and Board of Aldermen:

MOTION TO APPROVE Resolution 43-2020, A Resolution Revising a Job Description for Police Chief.

SUMMARY AND BACKGROUND OF SUBJECT MATTER: Revisions to the current job description for Police Chief as follows:

EXPERIENCE AND EDUCATION

Any combination equivalent to the experience and education that could likely provide the required knowledge and abilities is qualifying.

- Bachelor's degree from a regionally accredited college or university with a Master's degree preferred.
- Fifteen (15) years of progressive experience in a sworn, supervisory level position, including five (5) years of command level experience.
- Attended the FBI National Academy or received similar leadership and command training.

AGENDA DATE: May 13, 2020

WORKSHOP DATE: N/A

FUNDING SOURCE: N/A

DEPARTMENT DIRECTOR APPROVAL: ☒ Yes ☐ No

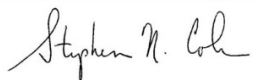
STAFF PERSON RESPONSIBLE: Stephen N. Cole, City Manager

DOCUMENTS ATTACHED: Draft Job Description

RECORD: ☐ Yes ☒ No

CITY ATTORNEY REVIEW: ☒ Yes ☐ N/A

SUBMITTED BY:



Stephen N. Cole, City Manager

CITY OF BLACK HAWK

2020 Job Description

JOB TITLE:	Police Chief	DEPARTMENT:	Police
REPORTS TO:	City Manager	EXEMPT:	Yes/At-Will
SALARY RANGE: \$139,442 - \$181,275 / Annual			
HIRING RANGE: \$139,442 - \$160,358 / Annual			

SUMMARY

The Chief of Police is the highest-ranking officer in the Police Department. The Chief of Police may act as City Manager in the absence of the City Manager. As a General Manager of the Police Department, the Chief of Police is responsible for the planning, efficient administration and operation of the Police Department under the authority of the City Manager. In this capacity, the Chief of Police directs, plans, and coordinates the enforcement of the ordinances of the City of Black Hawk, the laws of the State of Colorado and Federal Laws for the purpose of protecting persons and property and for the preservation of the peace of the community. The Chief of Police is responsible for testifying before the City Council on law enforcement matters of importance to the City of Black Hawk; proposing new or amending existing ordinances, which could have an impact on law enforcement in the City of Black Hawk.

The Chief of Police attends the City Council meetings to keep the board informed about any issue related to the Department's operations and to respond to citizens' inquiries. Also, the Chief of Police acts on all matters related to disciplinary issues and recommends awards for exemplary conduct of the Department's sworn and civilian employees. In addition, the Chief of Police makes presentations to private citizens, community groups and the business community to promote the goals and missions of the Police Department and to solicit their input in making the City of Black Hawk a safe place in which to live, visit and conduct business. During a state of emergency such as civil disturbance in the city, the Chief of Police assumes a leadership role in planning, coordinating and directing all activities aimed at restoring peace in the city or otherwise returning conditions to normal.

The Chief of Police has jurisdiction within the City of Black Hawk and line command authority over sworn and civilian employees.

SUPERVISION EXERCISED

The Police Chief generally supervises all Black Hawk Police Department Personnel.

ESSENTIAL DUTIES AND RESPONSIBILITIES

- Evaluates information and makes recommendations to the City Manager, City Council and Management Team.
- Oversees the activities of the Police Department, which include the Administration, Communications, Investigations and Patrol.
- Establishes and maintains an effective system of communication throughout the organization. Effectively represents the organization to department employees, customers, the business community and the general public.

- Develops, recommends and administers department operating budget. Reviews and substantiates department funds and the maintenance of fiscal controls on department revenues and expenditures. Plans allocation and use of all monies budgeted for department operations.
- Develops plans, and implements Department goals and objectives; recommends and administers policies and procedures, subject to approval by the City Manager.
- Conducts weekly staff meetings. Participates in weekly supervisor meetings, attends weekly director meetings.
- Attends monthly meetings with Chief Law Enforcement Executives regarding areas of mutual concern.
- Ensures that the monthly operating results of the department achieve the objectives.
- Assures the selection, training, motivation and evaluation of personnel will be fair and unbiased.
- Oversees the correction of deficiencies among all department personnel.
- Oversees training programs to keep all department personnel aware of law changes and current on all aspects of police activity.
- Is solely responsible for imposing unpaid suspension and termination procedures, over all department employees.
- Confer with citizens and city officials on city crime prevention, law enforcement problems and assists in the development of innovative municipal law enforcement policies and solutions. Adjusts department methods to new situations as required.
- Coordinate Department activities with the management team, employees, outside agencies and organizations; prepare and present staff reports and other necessary correspondence. Effectively dispense advice, guidance, direction and authorization to carry out major plans and procedures, consistent with established policies and City Manager approval.
- Will be responsible for the handling of all civil litigation involving the department.
- Oversees the purchase of department vehicles.

QUALIFICATIONS

To perform this job successfully, an individual must be able to perform each essential duty satisfactorily. The requirements listed below are representative of the knowledge, skill, and/or ability required. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Knowledge of:

- A positive and solid background in police work with a minimum of five years increasingly responsible police supervisory and management experience.
- Proficient with program performance and management by objective budget approaches.
- Experience working with and effectively utilizing the talents of a skilled professional and technical staff.

- Must be self-confident, sensitive, and personal and possess professional integrity.
- Superior written communications ability. Ability to be an articulate, effective public speaker and present a high visibility image, personally and professionally.
- Must have strong leadership skills, an attitude conducive to team building, and ability to incorporate organizational and personal goals.

Ability to:

- Ability and desire to maintain a high level of continuing education and professional development.
- Ability to maintain honest, open relationships and effectively interact with department staff, other department contacts and citizen groups.
- Ability to provide objective analysis and realistic projection regarding department planning and ability to work comfortably and effectively as a member of the management team.
- Ability to excel in participatory climate without abdicating decision-making responsibilities, ability to maintain an effective organizational communication system, ability to deal fairly, firmly and effectively with all employees and employee groups and ability to maintain superior performance levels while faced with limited personnel and fiscal resources.
- Ability to develop and motivate command personnel, delegate effectively and function well in a political decision making process.
- Ability to read, analyze, and interpret general Department periodicals, professional journals, policies and procedures, or governmental regulations. Ability to respond to common inquiries from the general public, citizens, regulatory, or law enforcement agencies. Ability to write reports, and business correspondence.

Certifications

- Must be certified as having successfully completed the basic course of an accredited police academy meeting Colorado **P**eace **O**fficer **S**tandards and **T**raining requirements or become certified within one year of employment.
- Must have or be able to obtain a valid Colorado driver's license with a safe driving record.

EXPERIENCE AND EDUCATION

- Any combination equivalent to the experience and education that could likely provide the required knowledge and abilities is qualifying. Bachelor's degree from a regionally accredited college or university with a Master's degree preferred
- Fifteen (15) years of progressive experience in a sworn, supervisory level position, including five (5) years of command level experience.
- Attended the FBI National Academy or received similar leadership and command training.

PHYSICAL DEMANDS

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable

accommodations may be made to enable individuals with disabilities to perform the essential functions.

- In rare instances may be exposed to situations in which there are dangerous or deadly weapons. May be required to use physical force to restrain violent, combative individuals. May be required to use or be subjected to deadly physical force. May be involved in high-stress situations with little or no warning and be involved for long periods of time. May come into contact with individuals who have been exposed to infectious or contagious diseases.
- While performing the duties of this job, the employees are regularly required to walk, sit, use hands to manipulate or feel objects, tools, or controls; reach with hands and arms; climb or balance; stoop, kneel, crouch, or crawl; talk and hear. The employee is regularly required to stand and smell.
- In rare instances the employee may lift and/or move more than 100 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

NECESSARY REQUIREMENTS

- Must pass a thorough background investigation, including but not limited to, a polygraph examination, psychological assessment and statement from a credit-reporting bureau. Applicants with a record of conviction for serious misdemeanors or felony crimes will be disqualified.
- Must be able to perform in a busy environment with frequent interruptions
- Employees are expected to follow all types of safety rules and use the department provided safety equipment. To include but not limited to: seatbelts, body armor, safety glasses, and ear protection, etcetera.

COMMENTS

The intent of this classification is to describe the types of job tasks and levels of responsibility and difficulty required of persons assigned to this classification title. This is not to be considered a detailed description of every duty/responsibility of the job.

The City of Black Hawk is an Equal Opportunity Employer. Pursuant to the *Immigrations Reform and Control Act*, it is the City's intention to hire only individuals who are United States citizens or aliens authorized to work and live in the United States.

I have read and fully understand the duties of the job description.

Sign: _____ Date: _____